

John and Laurie Deshane  
203 Fire Route 23  
Havelock, ON  
K0L 1Z0  
(705) 778-3496  
[pupdeshane@outlook.com](mailto:pupdeshane@outlook.com)

October 6, 2023

Beth Lowe, Regulations Officer  
Crowe Valle Conservation Authority  
70 Hughes Lane  
P.O. Box 416  
Marmora, ON  
LOK 2M0  
[beth.lowe@crowevalley.com](mailto:beth.lowe@crowevalley.com)  
\*sent by email.

Dear Ms. Lowe and Honourable Members of the Watershed Advisory Board:

**Re: Hearing in the Matter of an Application by John and Laurie Deshane for the  
Permission of the Crowe Valley Conservation Authority**

Further to our application submission, we wish to provide this letter providing our perspective as applicants. We wish to thank Ms. Lowe for her guidance and professional conduct in assisting us through the application process.

By way of introduction, the Deshane family has owned waterfront property on Belmont Lake for 62 years. We have owned the property that is the subject of our application since 2005. It is  $\pm 24$  acres in size, it has  $\pm 2,435$  feet of assessed shoreline frontage, and is presently vacant. The property is dear to us, and we have been excellent land stewards. Our son and his spouse and family live on an abutting lot and our current objective is to develop the subject property responsibly with a modest dwelling and garage to be close to our family in retirement.

By way of background, in 2012 we submitted a Zoning By-law Amendment Application to the Township of Havelock-Belmont-Methuen to rezone part of the subject property and this application was approved, having the effect of applying the necessary zoning to permit a dwelling. The CVCA commented on the application and raised no objections.

In October 2021, Ms. Lowe advised us that a permit could not be issued by a CVCA Regulations Officer due to constraints on the subject property. Ms. Lowe kindly advised that an application could still be filed, the inability to gain a permit from a Regulations Officer communicated, and a Hearing scheduled before the Watershed Advisory Board to gain permission to proceed with our proposal.

We have incurred a significant expense in retaining qualified professionals to provide the CVCA with the necessary documentation to make an informed decision on our application and to ensure that we are developing our property responsibly. This is a shared goal. These professionals include a qualified Ontario Land Surveyor (OLS) who completed an extensive survey of our property including floodplain mapping; a qualified Ecologist who prepared a Scoped Natural Heritage Evaluation (sNHE) and Addendum thereto to address, among other matters, potential impacts to unevaluated wetlands; and finally a Licensed Professional Engineer (P.Eng.) who has prepared a detailed site plan, drawings, renderings, a preliminary private on-site sewage disposal design, and estimates for fill necessary to bring portions of the proposed driveway

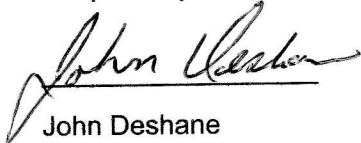
alignment up to a standard for safe access. This process has weighed heavily on us both financially and emotionally.


We wish to emphasize the following, supported by documentation provided by the above-noted qualified professionals:

- An area utilizing naturally elevated terrain has been identified for the proposed dwelling, garage, and private on-site sewage disposal system. This development will naturally occur above the 1:100-year flood elevation of Belmont Lake of 188.88 metres above sea level (masl) and above a 6-metre emergency access setback. Based on our understanding, it does not appear that any floodproofing measures are required for this development based on finished floor elevations indicated on the submitted site plan and distance from the 1:100-year flood elevation, however, if the Board finds these measures necessary, we would welcome any related condition(s).
- An area utilizing naturally elevated terrain and an existing (remanent) access pathway has been identified for the proposed driveway alignment. As is indicated by spot elevations on the submitted survey sketch and site plan, most of the proposed driveway is naturally above the 1:100-year flood elevation. Lesser spot elevations are indicated at the northwesterly extent of the proposed alignment where it is intended to connect to the existing private road known as Fire Route 19C. This travelled road serves existing residential development in the area. We understand through correspondence with Ms. Lowe that any portions of the driveway 0.3 m below the 1:100-year flood elevation will be required to be upgraded to ensure safe access. As is indicated by calculations on the submitted site plan, we are prepared to upgrade the driveway in areas where it is required to meet this standard, and we would welcome any related condition(s).
- Despite the large size and extensive assessed frontage of the subject property, achieving compliance with the CVCA's unevaluated wetland setback has been proven impossible. Situating a development envelope and driveway alignment has proven to be an exercise in the 'art' of avoiding multiple constraints on a unique property. No better alternative envelopes or driveway alignments exist. The sNHE prepared by a qualified Ecologist contains recommendations to ensure that potential impacts to any sensitive hydrological features can be avoided. We would welcome any related condition(s).

We respectfully request that the Board find its way to approval of our application. Our Agent, Anthony Quinn, and those copied on this correspondence, will attend the Hearing and will be available for questions.

Respectfully submitted,

  
John Deshane

  
Laurie Deshane

cc. Anthony Quinn, [AQuinn@bennettgroup.ca](mailto:AQuinn@bennettgroup.ca)

Rob West, Senior Ecologist, Oak Ridge Environmental Ltd.,  
[rob@oakridgeenvironmental.com](mailto:rob@oakridgeenvironmental.com)

Trevor Day, P.Eng., Trevor Day & Associates, [trevorday@nexicom.net](mailto:trevorday@nexicom.net)

# CROWE VALLEY CONSERVATION

70 Hughes Lane  
P.O. Box 416  
Marmora, Ontario  
K0K 2M0

Phone:  
(613) 472-3137  
Fax:  
(613) 472-5516

www.crowevalley.com

RECEIVED  
NOV - 6 2012

Thursday, November 01, 2012

The Township of  
Havelock-Belmont-Methuen  
P.O. Box 10, 1 Ottawa Street East  
Havelock, Ontario  
K0L 1Z0

ATT: Mr. Glenn Girven, Clerk.

**RE: Proposed Zoning By-Law Amendment under Section 34 of The Planning Act, R.S.O., 1990, as amended to Change the Currently Zoned "Rural (RU) Zone" to "Seasonal Residential (SR) Zone" in Order to Recognize a Single Detached Vacation Dwelling as a Permitted Use, Located in Part of Lot 20, Concession 3, Belmont Ward, in the Municipality of the Township of Havelock-Belmont-Methuen (Deshane)**

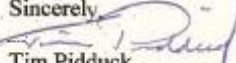
Dear Mr. Glenn Girven and Chief Building Inspector,

The above reference By-law has been reviewed to the applicability of the Ontario Regulation 159/06 the Development, Interference with Wetlands & Alterations to Shorelines & Watercourses Regulation of the CVCA.

A review of the information provided indicates that subject property is within our watershed. After reviewing information provided we have formed the following decision.

- **CVCA has no issues with the proposed amendment to Zoning By-law under Section 34 of the Planning Act, R.S.O., 1990, as amended to change the currently zoned "Rural (RU) Zone" to "Seasonal Residential (SR) Zone" since there appears to already be an existing dwelling located at the subject property. However, the subject lands are in an area susceptible to flooding which may pose a significant risk to life and property, so any future development to the subject property will be determined on the type of proposed development or alteration.**
- **An Application for the Development, Interference with Wetlands & Alterations to Shorelines & Watercourses Permit 159/06 will be required prior to any work being done**

If you have any questions, please feel free to contact me at the CVCA office.

Sincerely,  
  
Tim Pidduck  
CVCA General Manager



***Scoped* Natural Heritage Evaluation (sNHE)**  
**Proposed Single Seasonal Residential Development**  
85 Fire Route 19C, Belmont Lake  
Part of Lot 20, Concession 3 (Belmont)  
Township of Havelock-Belmont-Methuen, County of Peterborough



Google Earth (2019)



**Scoped Natural Heritage Evaluation (sNHE)**  
**Proposed Single Seasonal Residential Development**  
85 Fire Route 19C, Belmont Lake  
Part of Lot 20, Concession 3 (Belmont)  
Township of Havelock-Belmont-Methuen, County of Peterborough



**ORE**  
**Oakridge Environmental Ltd.**  
Environmental and Hydrogeological Services

# Background Information

## Species at Risk (SAR) Screening

- Natural Heritage Information Centre (NHIC)
- Ontario Breeding Bird Atlas (OBBA)
- eBird
- iNaturalist

## Land Information Ontario Mapping

### Key Natural Heritage Features

- Wetlands
- Waterbodies
- Watercourses

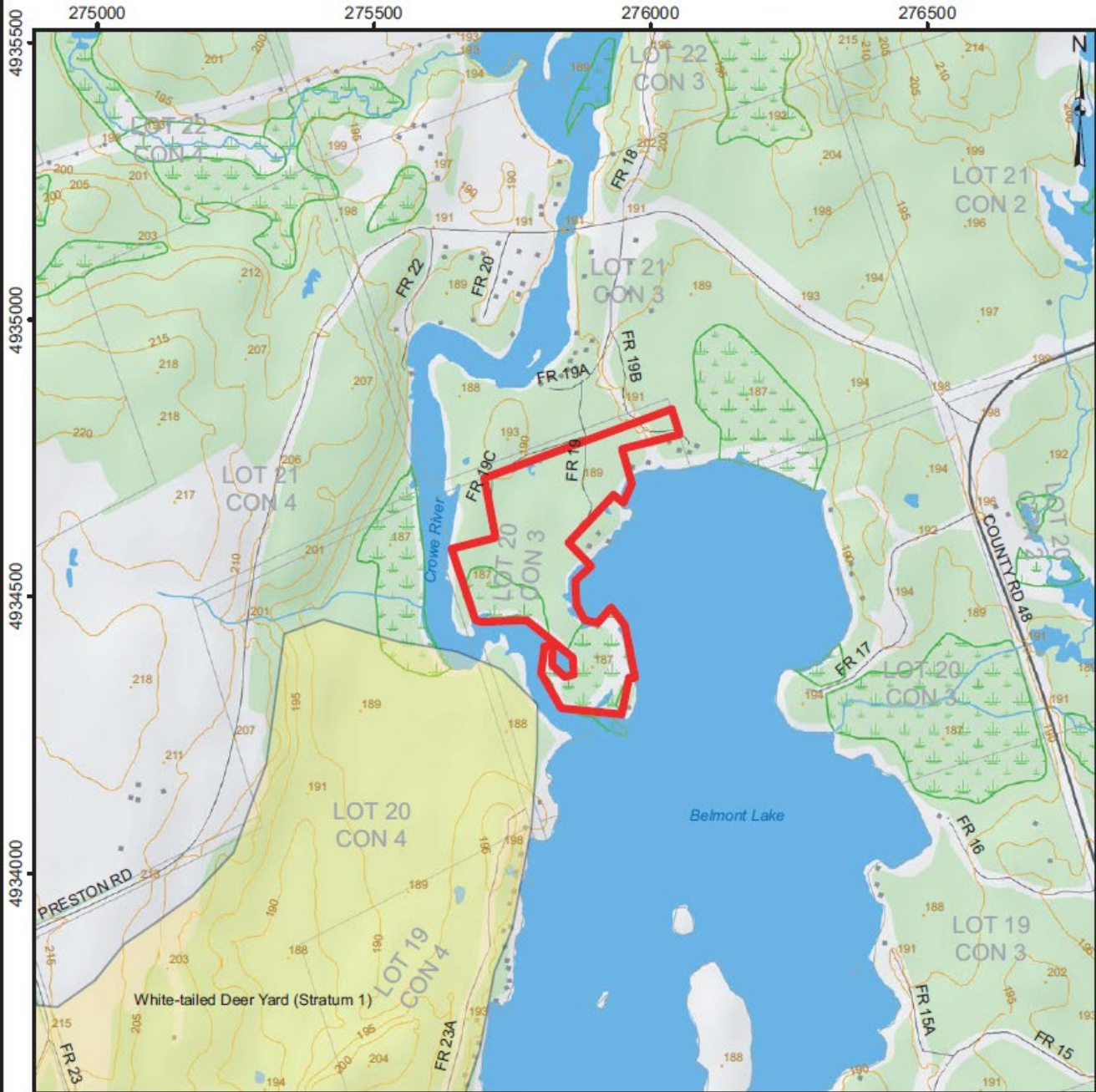
### Wildlife Habitat/Activity Areas

- (Deer Habitat)

Scoped Natural Heritage Evaluation (sNHE)  
Proposed Single Seasonal Residential Development  
85 Fire Route 19C, Belmont Lake  
Part of Lot 20, Concession 3 (Belmont)  
Township of Havelock-Belmont-Methuen, County of Peterborough

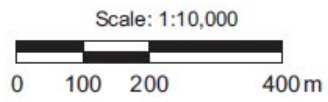


**ORE**  
**Oakridge Environmental Ltd.**  
Environmental and Hydrogeological Services



**Scoped Natural Heritage Evaluation (sNHE)**  
**Proposed Single Seasonal Residential Development**  
 85 Fire Route 19C, Belmont Lake  
 Part of Lot 20, Concession 3 (Belmont)  
 Township of Havelock-Belmont-Methuen,  
 County of Peterborough

- Approximate Property Boundary
- Wetland (Unevaluated)
- Watercourse
- Waterbody
- Wooded Area
- White-tailed Deer Yard (Stratum I)
- Spot Height (m asl)
- Contour (5m Intervals)
- Building (symbol)
- Transmission Line
- Arterial Road
- Road
- Geographic Lot Fabric



Notes: Base maps provided by Land Information Ontario and Natural Resources Canada (2022)

Optimized for Oakridge Environmental Ltd. printing

TITLE  
**Topography and Drainage**



PROJECT #  
 22-3054

FIGURE NO.  
**2**

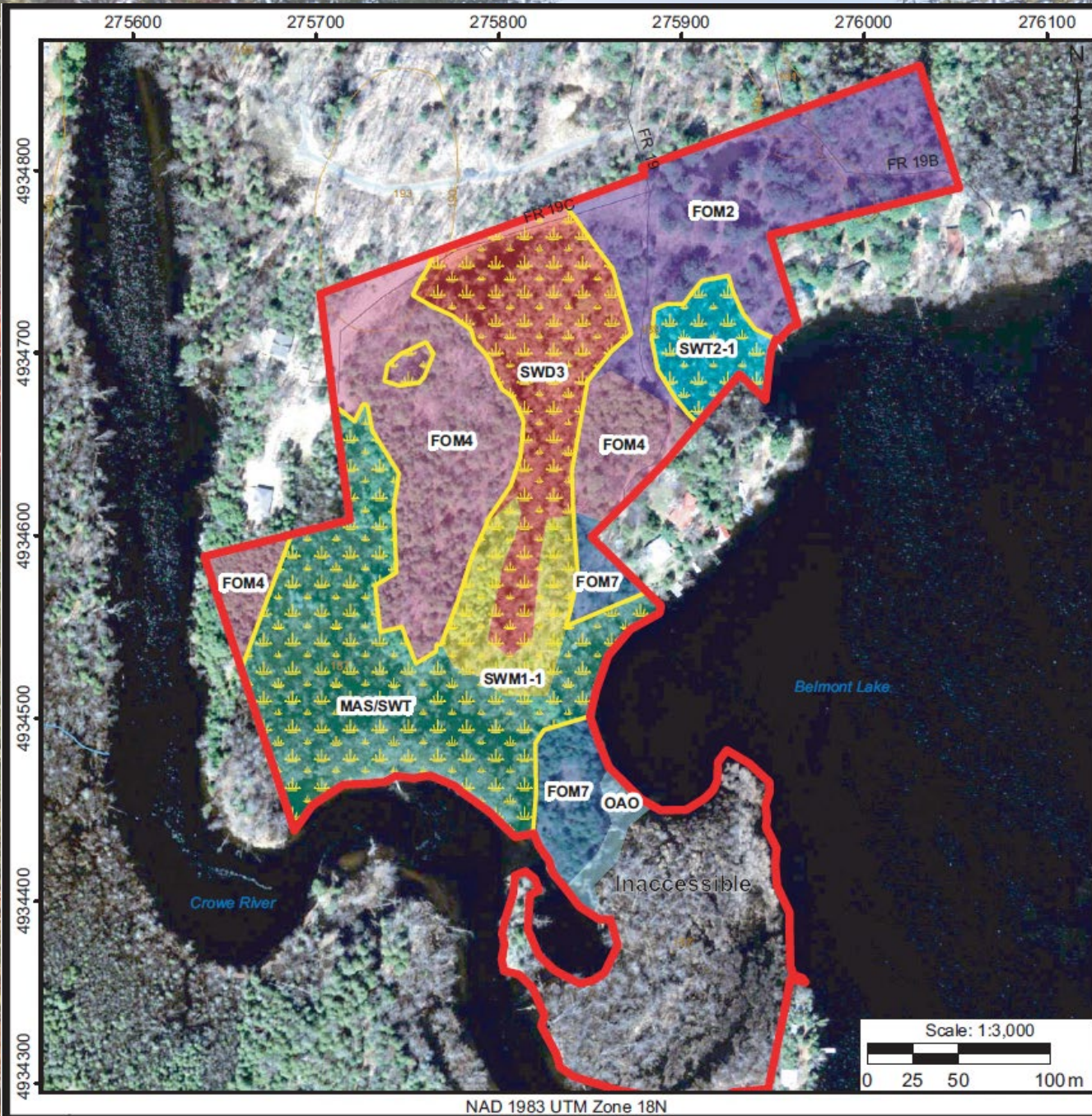
DATE  
 March 2023

NAD 1983 UTM Zone 18N

## Site Information

- Wetland delineation with Crowe Valley Conservation Area (CVC) and Ontario Land Surveyor (OLS).
- Ecological Land Classification (ELC) were applied to the vegetation types on-site.
- A Significant Wildlife Habitat (SWH) analysis was completed.
- A Species Inventory was completed to justify the ELC types applied to the property.
- NDMNRF Wildlife Monitoring Programs and Inventory Techniques for Ontario
- Survey Protocols for Ontario's Species at Risk (Individuals and Habitat) were applied to the site.





**Scoped Natural Heritage Evaluation (sNHE)**  
**Proposed Single Seasonal Residential Development**  
 85 Fire Route 19C, Belmont Lake  
 Part of Lot 20, Concession 3 (Belmont)  
 Township of Havelock-Belmont-Methuen,  
 County of Peterborough

- Approximate Property Boundary
- Wetland (ORE)
- Dry - Fresh White Cedar Mixed Forest Ecotype (FOM4)
- Dry - Fresh White Pine - Hardwood Mixed Forest (FOM2)
- Fresh - Moist White Cedar - Hardwood Mixed Forest (FOM7)
- Maple Mineral Deciduous Swamp (SWD3)
- Shallow Marsh (MAS) + Thicket Swamp (SWT)
- Speckled Alder Mineral Deciduous Thicket Swamp Type (SWT2-1)
- White Cedar - Hardwood Mineral Mixed Swamp Type (SWM1-1)
- Open Aquatic (OAO)
- Watercourse
- Contour (5 m Intervals)
- Spot Height (m asl)

*Notes: Base maps provided by Land Information Ontario and Natural Resources Canada (2022)*  
*Imagery provided by Google Earth (2019)*  
*Feature locations determined by differential GPS (+/- 3.0 m)*  
*Optimized for Oakridge Environmental Ltd. printing*

TITLE  
**Vegetation**



PROJECT #  
22-3054

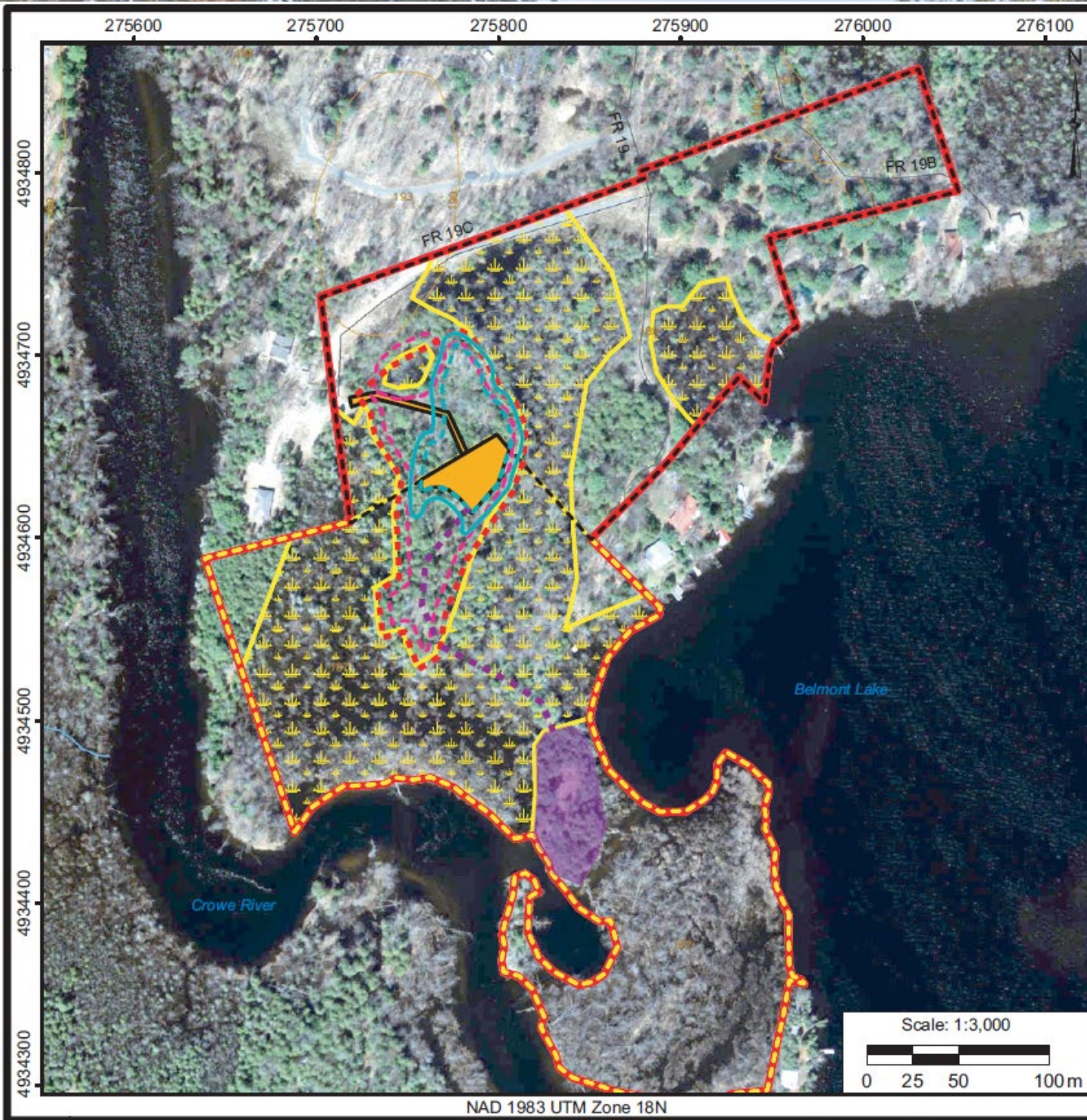
DATE  
March 2023

FIGURE NO.  
**4**

## Development Envelopes and Constraints

- A 6 m Setback/Vegetation Protection Zone (VPZ) was applied to the wetland boundary mapped in conjunction with CVC staff.
- A 6 m Floodline Setback was applied based on the site survey.
- Zoning Rural vs. Seasonal Residential - The building envelope is a product of numerous constraints including zoning – Township planning specified the dwelling was not to be situated in the Rural (RU) Zone.
- The Developable Area and Potential Driveway were estimated to be 977 m<sup>2</sup> | 0.24 acres.
- Routing of the proposed laneway applied a least impact approach:
  - targeted along an elevated ridge-type feature between the FR and proposed building envelope;
  - situated to avoid the mapped wetland areas; and,
  - take advantage of an existing trail/swath that was cleared many years ago.The route was conveyed to the OLS.
- Any Significant Wildlife Habitat was unaffected.
- Species at Risk (None Detected)





**Scoped Natural Heritage Evaluation (sNHE)**  
**Proposed Single Seasonal Residential Development**  
 85 Fire Route 19C, Belmont Lake  
 Part of Lot 20, Concession 3 (Belmont)  
 Township of Havelock-Belmont-Methuen,  
 County of Peterborough

- Approximate Property Boundary
- Zoning: Rural
- Zoning: Seasonal Residential
- Floodline Contour Elevation (188 m asl)
- Floodline Setback (6 m)
- CVCA Wetland Boundary
- Wetland (ORE)
- Wetland Setback (6 m)
- Developable Area and Potential Driveway (977 m<sup>2</sup> | 0.24 acres)
- Upland Island Area
- Proposed Passive Use Trail
- Watercourse
- Contour (5 m Intervals)
- Spot Height (m asl)

*Notes: Base maps provided by Land Information Ontario and Natural Resources Canada (2022)*  
*Imagery provided by Google Earth (2019)*  
*Wetland delineation by Crowe Valley Conservation Area (CVCA), and floodline contour elevation provided by Miller (2022)*  
 Zoning as per Township Zone Schedule 1A  
 Feature locations determined by differential GPS (+/- 1.5 m)  
 Optimized for Oakridge Environmental Ltd. printing

TITLE  
**Constraints**

 <b>ORE</b> <b>Oakridge Environmental Ltd.</b> Environmental and Hydrogeological Services	
PROJECT # 22-3054	FIGURE NO. <b>6</b>
DATE March 2023	



**Scoped Natural Heritage Evaluation (sNHE)**  
**Proposed Single Seasonal Residential Development**  
 85 Fire Route 19C, Belmont Lake  
 Part of Lot 20, Concession 3 (Belmont)  
 Township of Havelock-Belmont-Methuen, County of Peterborough

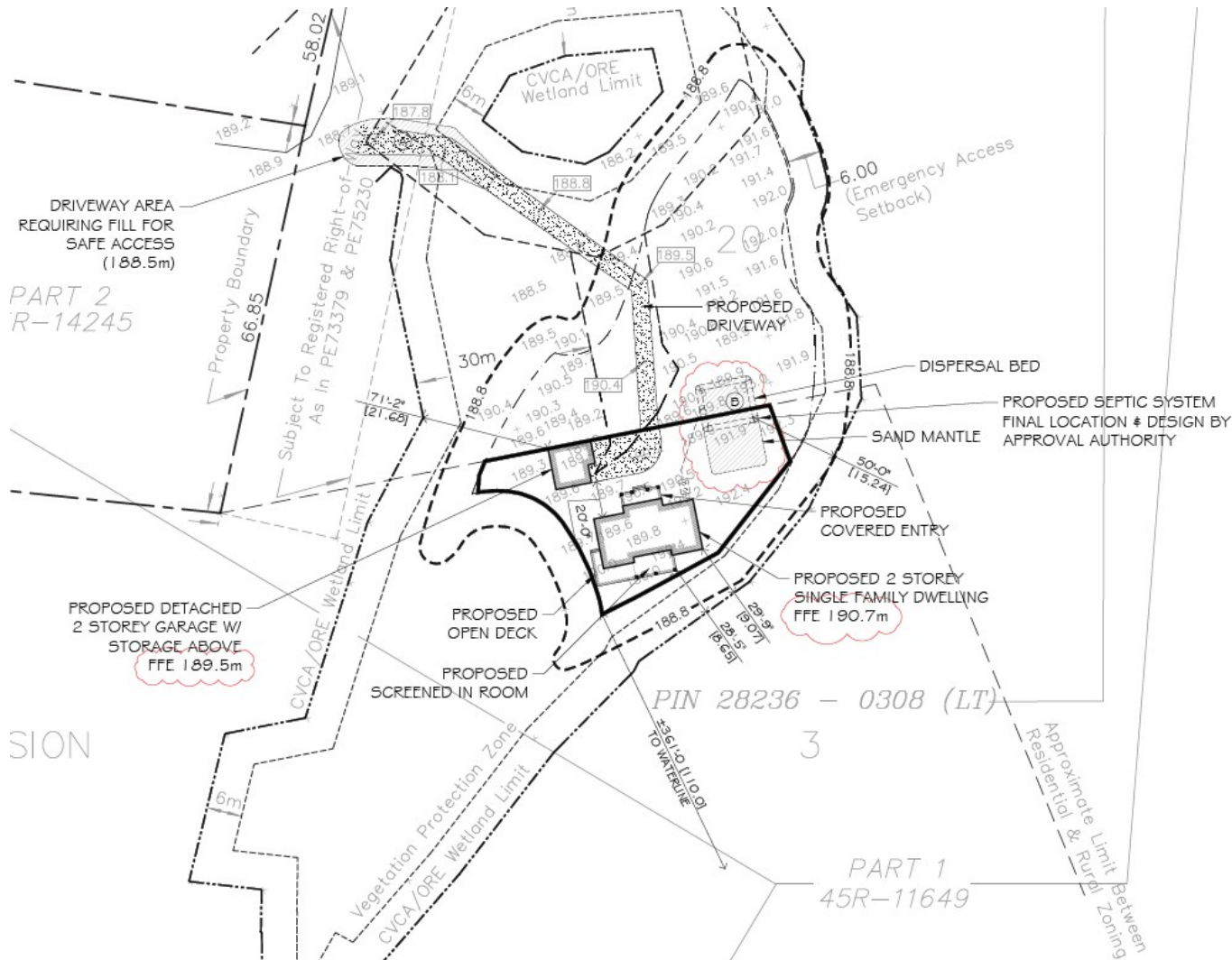
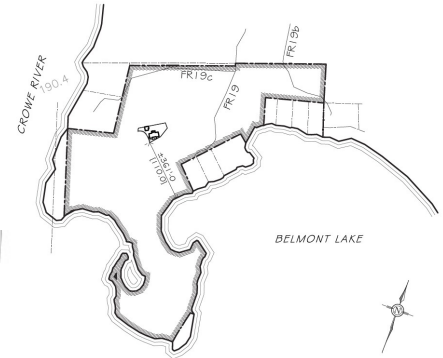


**ORE**  
**Oakridge Environmental Ltd.**  
 Environmental and Hydrogeological Services

**Scoped Natural Heritage Evaluation (sNHE)**  
**Proposed Single Seasonal Residential Development**  
85 Fire Route 19C, Belmont Lake  
Part of Lot 20, Concession 3 (Belmont)  
Township of Havelock-Belmont-Methuen, County of Peterborough



# John & Lori Deshane Property FR19C Belmont Lake Proposed Site Plan



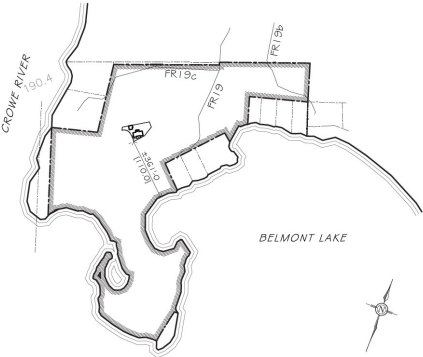
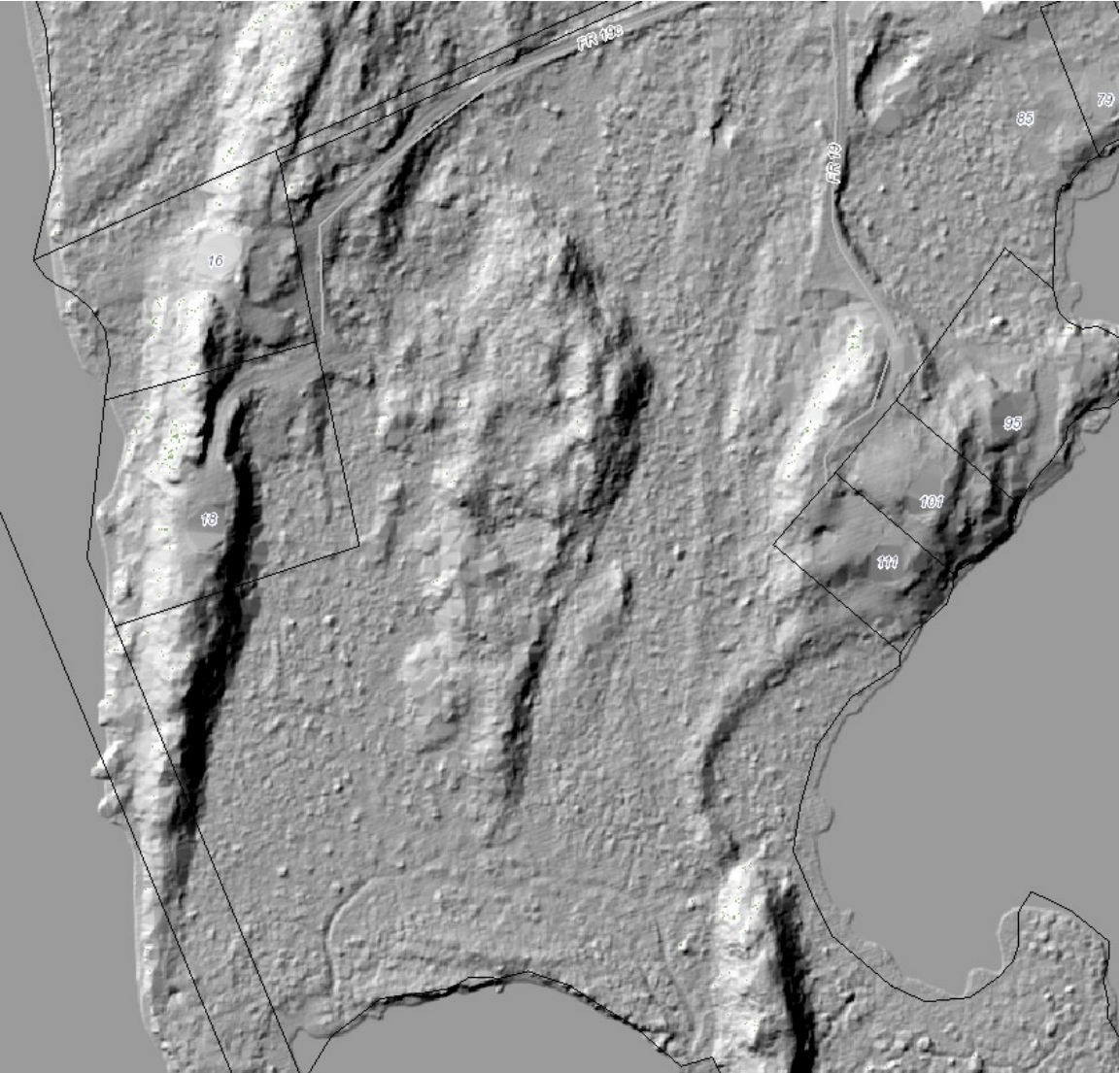
**Dwelling**  
- 213 m<sup>2</sup>

**Detached Garage**  
- 48 m<sup>2</sup>

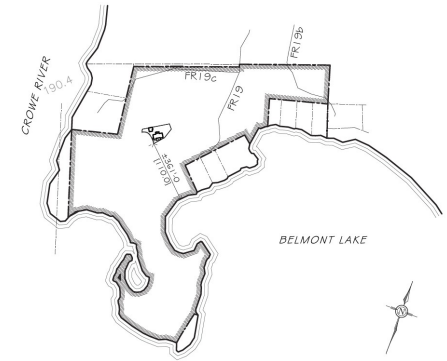
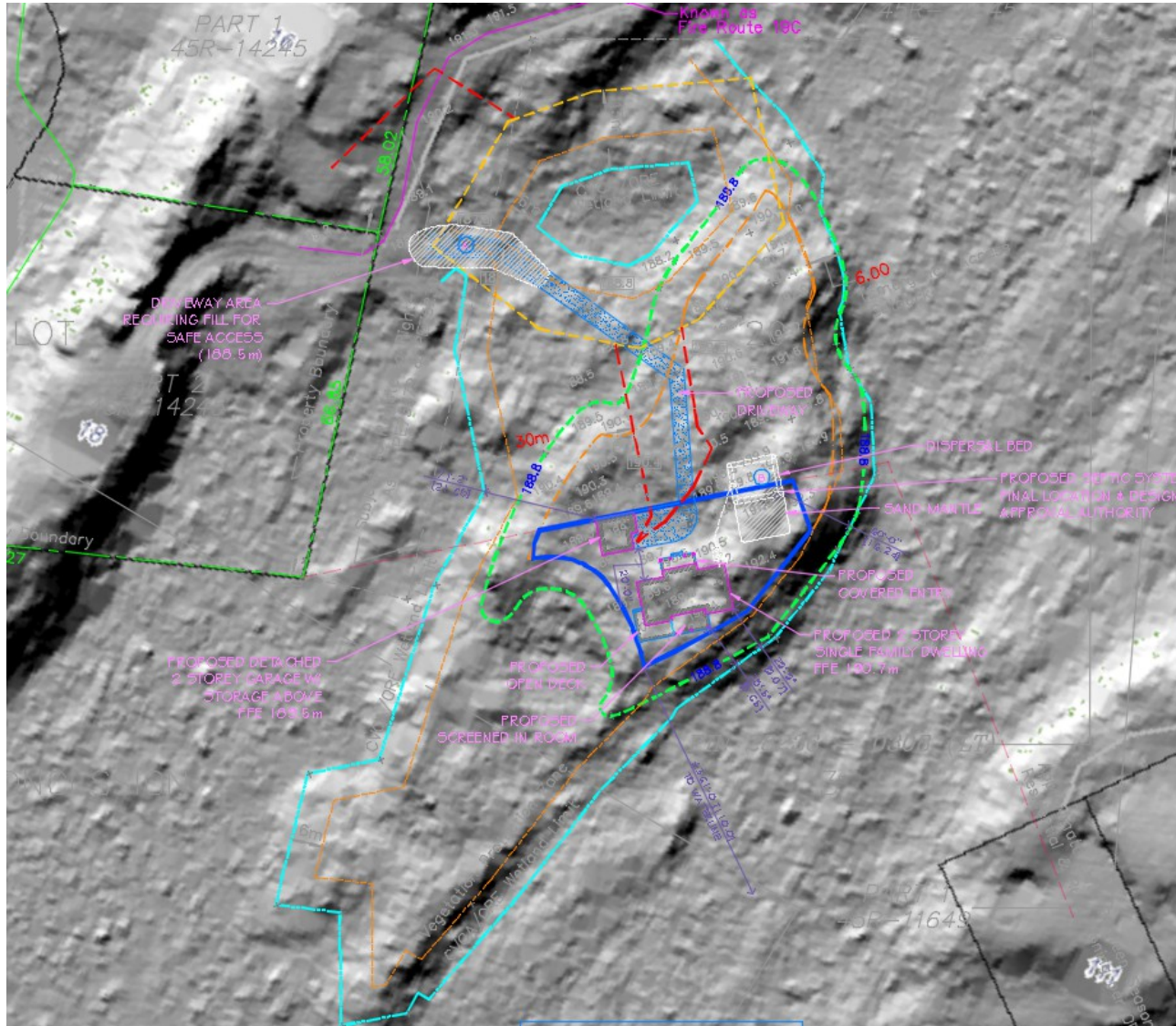
**Septic System**

**Driveway**

John & Lori Deshane Property  
FR19C Belmont Lake  
Site Topography

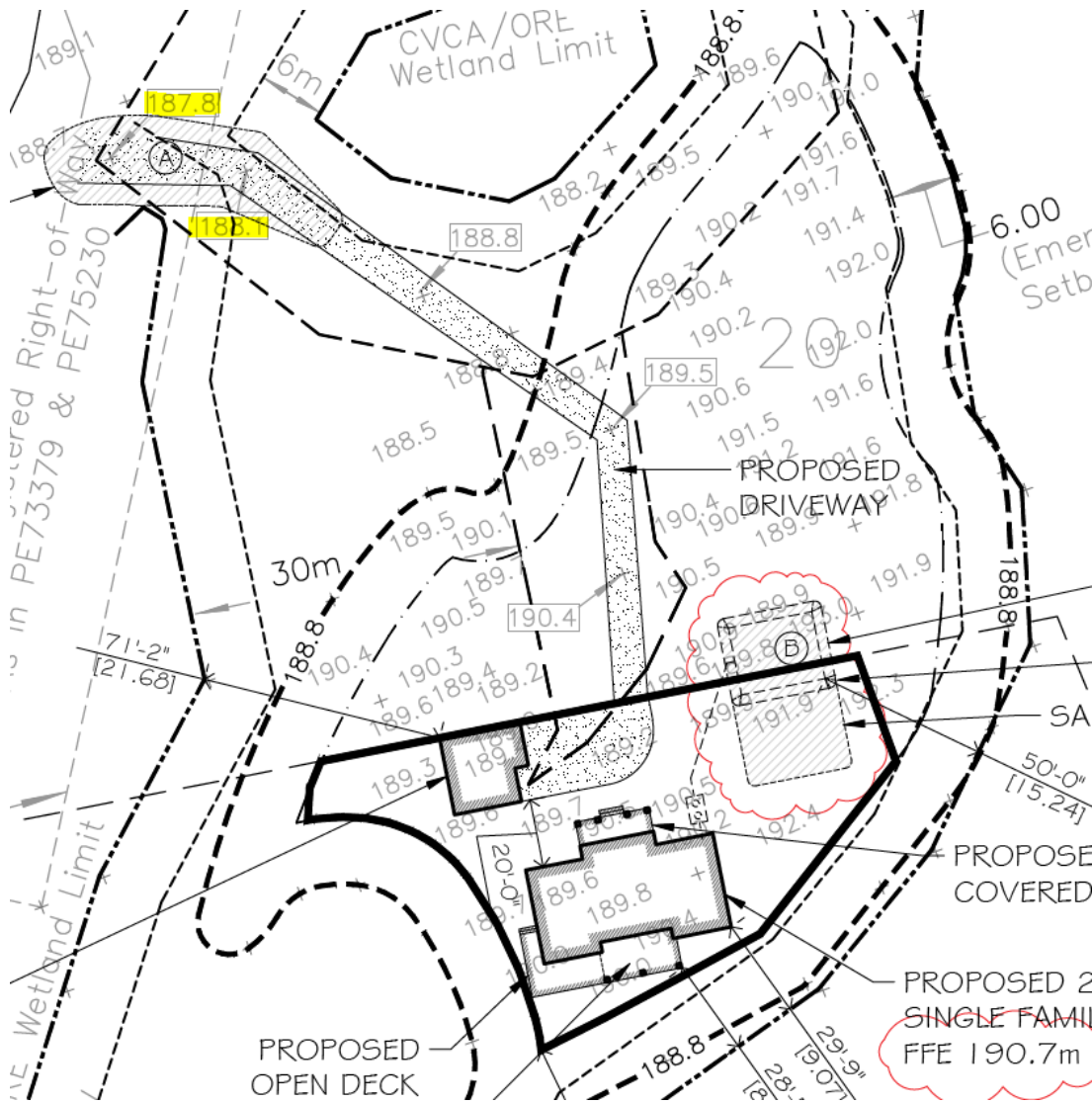
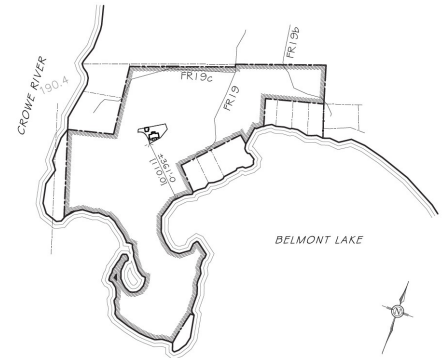


# John & Lori Deshane Property FR19C Belmont Lake Site Topography





# John & Lori Deshane Property FR19C Belmont Lake Safe Access



188.50 m ASL required for safe access

Area joining FR19C to the proposed driveway requires fill (approx. 79 m<sup>3</sup>) to meet this requirement

Otherwise the driveway and remainder of the proposed site meets requirements

John & Lori Deshane Property  
FR19C Belmont Lake  
Safe Access



Location requiring fill for safe access

John & Lori Deshane Property  
FR19C Belmont Lake  
Summary

- Sufficient space for residential development demonstrated
- Flood Hazard + 6m setback respected
- Safe access easily accomplished
- Compliance with zoning boundaries and setbacks
- Adherence to recommendations of sNHE