



REPORT FOR: CROWE VALLEY CONSERVATION AUTHORITY WATERSHED ADVISORY BOARD

REGARDING: ONTARIO REGULATION 159/06, PERMIT APPLICATION NO. 000/23 BEING: A DWELLING AND SEPTIC SYSTEM LOCATED WITHIN THE WOLLASTON LAKE FLOOD HAZARD.

DATE: NOVEMBER 9, 2023

HEARING DATE	November 16, 2023
DATE APPLICATION RECEIVED	November 1, 2023
DATE HEARING REQUESTED	November 1, 2023
APPLICANT	Christopher Degeer and Beverley Degeer
LOCATION	#229 Beach Lane (Wollaston Lake) Part Lots 16 and 17; Concession 7 Township of Wollaston ARN: 1254-000-015-34400
PROPOSAL	To construct a dwelling and septic system within the flood hazard.
OVERVIEW	The proposed development does not conform to the CVCA's Watershed Planning and Regulations policies because: <ul style="list-style-type: none"> 1) New development within the Regulatory floodplain is not permitted. <ul style="list-style-type: none"> a. The proposed reconstruction of the dwelling is within the flood hazard and exceeds the allowable habitable floor area increase (50% of original up to a maximum of 500 ft²). b. The dwelling is therefore considered new development. 2) The development would require fill to create a building envelope within the Regulatory floodplain. 3) The development would require changes to grade within the Regulatory floodplain for the purpose of permitting development.



Executive Summary

An application for development has been submitted by Mr. Christopher Degeer and Ms. Beverley Degeer with regard to Ontario Regulation 159/06: Crowe Valley Conservation Authority: Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses. The application is requesting permission to reconstruct a dwelling within the floodplain of Wollaston Lake. The proposal does not conform to CVCA Watershed Planning and Regulations Policies (hereafter simply referred to as "CVCA policies") on account of the proposed dwelling exceeding the maximum allowable size increase within the floodplain. Therefore, it is CVCA staff's recommendation that the application be **denied**.

The proposed development does not conform to the CVCA's Watershed Planning and Regulations policies for the following reasons:

1. In general, CVCA policies do not permit development within the regulatory floodplain.
2. New development is only permitted in the floodplain if there is no feasible location outside of the floodplain.
3. If no feasible location outside of the floodplain exists, replacement of an existing dwelling is only permitted where it is considered to be a minor increase, not to exceed 50% of the original habitable floor area up to a maximum of 500 ft².
4. If the allowable size increase is exceeded, reconstruction of a dwelling is considered new development.
5. Fill placement to create a building envelope within the Regulatory floodplain is not permitted.
6. Grade modifications, for the purpose of permitting development, is not permitted.

Subject Lands

The subject property is located along the north shore of Wollaston Lake. The property consists of approximately 0.6 acres, with 33m of frontage on Wollaston Lake. The applicants do not own the municipal shore road allowance. The subject property and adjacent properties are developed. Beach Lane and the associated right-of-way traverses the subject property east-west, dividing the property into northern (rear) and southern (lakefront) portions. These two portions of the lot will be referred to as the "north lot" and "south lot." The proposed development is on the south lot. A majority of the south lot is considered floodplain, with about 1/3 being outside of the floodplain. The north lot is completely outside of the floodplain. The north lot has not been explored by the applicant for various reasons, the details of which are discussed in the following section.

Background

The north lot has not been explored by the applicant as a feasible location for the dwelling. The applicant is unwilling to do so on account of various factors:

1. Before purchasing the lot, the applicants exercised due diligence to ensure that reconstruction of a dwelling could occur on the lakefront portion of the lot - The applicants submitted a Property Inquiry to the CVCA on March 16, 2018.

CVCA staff (Robert Cole) stated that:

- a. the location of the existing dwelling is outside of the floodplain, but within the 6m setback of the floodplain.
- b. CVCA policy allows replacement of an existing dwelling within the setback, but would encourage the 6m setback be respected.
- c. Based on desktop review, there is a building envelope on the property, subject to the setbacks established by Wollaston Township by-laws.

CVCA staff comments (Andrew McIntyre):

Typical practice of the CVCA is to request an elevation survey to delineate the floodplain on properties that could be at risk to flooding. It is unclear how previous CVCA staff made this assessment without required technical information. Because of this determination that the dwelling would be outside of the flood hazard, the applicants



were not informed of the following applicable CVCA policies that would have significant impacts on future development:

That when reconstructing the dwelling, it would need to be located outside of the floodplain if possible; and that if the floodplain cannot be avoided, that the replacement dwelling would be limited in the size (increased by a maximum of 50% up to 500 ft² of the original habitable floor area. The existing dwelling (trailer) was approximately 480 ft², which would allow the replacement dwelling to be 720 ft².

2. Before purchasing the lot, the applicants exercised due diligence to ensure that reconstruction of a dwelling could occur on the lakefront portion of the lot - The applicants sought a Minor Variance from Wollaston Township Committee of Adjustment, approved on April 26, 2018.

The Committee of Adjustment decision stated:

“To allow for a new single detached dwelling unit to be constructed with the following minimum setbacks:

- **6 metres from the flood plain of Wollaston Lake (at the time of hearing being 74 feet from high water mark)**
- **17 feet minimum setback from private road (Beach Lane)”.**

CVCA staff comments (Andrew McIntyre):

Information about the flood hazard which informed this decision was not based on a certified topographic survey. The applicant has since contracted a certified Ontario Land Surveyor, which yielded significant changes to the location of floodplain on the property. Further, the Minor Variance decision referring to “the private road” created ambiguity, as the road allowance does not contain the travelled road. It was later determined (by others) that the setback would apply to the travelled road. This creates some, albeit minimal, additional flexibility for development on the lot. The CVCA is not concerned with the road setback / constraint, but it is important for context. With the floodplain and road setback requirements, it is impossible to construct a reasonably sized dwelling that is both 17 feet from the road and 6 metres from the floodplain. This was not realized until later stages when a surveyor attended the property to layout the proposed development.

3. The applicants submitted a permit application to the CVCA on July 5, 2021 and received approval on September 8, 2021.

CVCA staff comments (Andrew McIntyre):

The same erroneous floodplain information was used in reviewing and approving of the 2021 permit application. The CVCA approval letter stated setback distances which were physically impossible to achieve. When applying for a Building Permit through Wollaston Township, the Chief Building Official noticed that the setbacks were not feasible and contacted CVCA staff. CVCA staff reviewed and confirmed this assessment. CVCA staff advised the applicants that an elevation survey would be required, which was quickly produced. The elevation survey showed more of the property to be within the floodplain than the original assessment, now including the proposed build location. Now that the proposed dwelling is within the floodplain itself, other applicable CVCA policies are triggered which were not previously communicated to the applicant because they did not apply. (For example, size increase limitation of 50% up to a maximum of 500 ft².) Once the applicants had some of their approvals in place, they had started making plans, including contracting a company to build the dwelling. It is CVCA staff’s understanding that a significant deposit was made with a company specializing in pre-fabricated homes. As one would expect with pre-fabricated homes, there is not a lot of flexibility in terms of adjustments to the footprint or layout.

4. The applicants have been working with the CVCA since February 2022 to satisfy CVCA application requirements as much as possible, leading up to a new application being submitted on November 1, 2023.



CVCA staff comments (Andrew McIntyre):

As part of the new application, the applicants have also submitted a detailed grading plan and cut and fill plan, which assesses pre- and post-development impacts on the floodplain (see **Appendix A: A2 and A3**). This information was requested by CVCA staff so that it could be considered by the CVCA Watershed Advisory Board at the time of a hearing. The applicant was informed of the hearing process early on when the revised floodplain information determined that the proposed building would not likely be able to avoid the floodplain.

Timeline

16 March 2018	Submitted CVCA Property Inquiry Form
16 March 2018	Property Inquiry Response received from CVCA
26 April 2018	Minor Variance approved by Wollaston Township Committee of Adjustment
15 May 2018	Applicants purchase subject property
5 July 2021	Applicants apply for CVCA permit (#187/21)
8 September 2021	CVCA issues permit approval (#187/21)
27 September 2021	Wollaston Township issues building permits for dwelling and septic system
23 February 2022	Surveyor communicates to Wollaston CBO inability to stake proposed development with required setbacks
28 February 2022	Wollaston CBO raises issue with required setbacks to CVCA
12 April 2022	CVCA requests elevation survey
17 October 2022	Meeting on site: applicants, CVCA staff, and Wollaston Chief Building Official
June 2023 - present	CVCA staff working with applicant to complete technical information required prior to requesting hearing with CVCA Watershed Advisory Board
1 November 2023	Applicants submit complete permit application (#232/23) (request for hearing had already been communicated)
16 November 2023	Hearing with CVCA Watershed Advisory Board

Proposal Description

Existing Development (see Appendix C: C2)

- Demolished built-up trailer.
- Small shed (8' x 12') on north portion of lot.

Proposed Development (see Appendix A)

Dwelling (see Appendix A: A1 and A2)

- Pre-fabricated single-storey residential dwelling with crawlspace
- Build area of 48 feet by 31.3 feet
- 1,368 square feet of gross floor area (slight irregular shape)
- Encroaches into the floodplain by 9.85 metres (32.3 feet)

Fill (see Appendix A: A2 and A3):

- 91.72 cubic metres (3,239 cubic feet) net fill placed in the existing floodplain
- 44.83 cubic metres (1,583 cubic feet) of fill cut/sourced from the property
- 101.27 cubic metres (3,576 cubic feet) of fill required for construction and to achieve floodproofing requirements
- Pre-development flood storage capacity of property: 172.32 cubic metres (6,085 cubic feet)



- Post-development flood storage capacity of property: 128.62 cubic metres (4,542 cubic feet)
- Loss of 43.7 cubic metres (1,543 cubic feet) of flood storage capacity

Septic System (see Appendix A: A2):

- Located outside of pre- and post-development floodplain
- Consists of septic tank and filter bed
 - o Tank will be 1.7m x 2.8m
 - o Filter bed will be 2.4m x 6.1m
- Septic system will be floodproofed by ensuring that the bottom of the filter bed runs will be at or above the regulatory flood elevation of 311.55m (CGVD28).

CVCA Regulated Features:

- Regulatory floodplain of Wollaston Lake
- Requisite minimum development setback is 6 metres, if possible.
- If floodplain cannot be avoided, the proposed should represent the area of least amount of encroachment / impact



Applicability of the Conservation Authorities Act, Ontario Regulation 159/06 and the Crowe Valley Conservation Authority's Watershed Planning and Regulations Policy Manual

Ontario Regulation 159/06, was made pursuant to section 28 of the Conservation Authorities Act, R.S.O. 1990. Ontario Regulation 159/06. The Conservation Authorities Act and Ontario Regulation 159/06 are attached as **Appendix D**.

The proposed development is within an area regulated by the CVCA due to the regulatory flood hazard of Wollaston Lake.

Section 2 (1) (a) (iii) (A) of the Regulation states:

Development prohibited

2. (1) Subject to section 3, no person shall undertake development or permit another person to undertake development in or on the areas within the jurisdiction of the Authority that are,
 - (a) river or stream valleys that have depressional features associated with a river or stream, whether or not they contain a watercourse, the limits of which are determined in accordance with the following rules:
 - (i) where the river or stream valley is apparent and has stable slopes, the valley extends from the stable top of bank, plus 15 metres, to a similar point on the opposite side,
 - (ii) where the river or stream valley is apparent and has unstable slopes, the valley extends from the predicted long term stable slope projected from the existing stable slope, or if the toe of the slope is unstable, from the predicted location of the toe of the slope as a result of stream erosion over a projected 100-year period, plus 15 metres, to a similar point on the opposite side,
 - (iii) **where the river or stream valley is not apparent, the valley extends the greater of,**
 - (A) the distance from a point outside the edge of the maximum extent of the flood plain under the applicable flood event standard, plus 15 metres, to a similar point on the opposite side, and**
 - (B) the distance from the predicted meander belt of a watercourse, expanded as required to convey the flood flows under the applicable flood event standard, plus 15 metres, to a similar point on the opposite side;**
 - (b) **hazardous lands;**
 - (c) wetlands; or
 - (d) other areas where development could interfere with the hydrologic function of a wetland, including areas within 120 metres of all provincially significant wetlands and wetlands greater than 2 hectares in size, and areas within 30 metres of wetlands less than 2 hectares in size.

Permission to develop

3. (1) The Authority may grant permission for development in or on the areas described in subsection 2 (1) if, in its opinion, the control of flooding, erosion, dynamic beaches, pollution or the conservation of land will not be affected by the development.

Section 3, above, refers to "tests" of the Regulation. Any application for development within an area regulated by the Conservation Authority is reviewed through the lens of these tests. The CVCA's Watershed Planning and Regulations Manual was developed to govern how these tests are applied to a multitude of possible development scenarios, as well as to provide guidance to CVCA staff in order to implement a consistent and practical approach for granting or refusing permission for development.



Hearing Process and Role of the CVCA's Watershed Advisory Board

When an application for development does not conform to the CVCA policies, CVCA staff must recommend the application for denial. The applicant then has the ability to request a Hearing with the CVCA's Watershed Advisory Board. The Watershed Advisory Board is tasked with reviewing the application for development, considering the applicable CVCA policies that have not been satisfied, and ultimately making a decision as to whether the application is consistent with the tests of the Regulation.

Tests of the Regulation

The development will not affect the control of:

- flooding,
- erosion,
- dynamic beaches (not applicable in CVCA watershed),
- pollution or
- the conservation of land

The CVCA Watershed Advisory Board may grant or refuse permission. Permission may be granted with or without conditions. The applicant will receive written notice of the decision. **The notice of decision must state the reasons for which the application was either approved or refused.** The applicant has the right to appeal the decision within 30 days of receipt of the notice of decision. Appeals are to the Ontario Land Tribunal. The applicant can appeal a refusal or the conditions of an approval.

CVCA Staff Recommendation

Based on the information submitted, CVCA staff recommend that the application be **denied** for the following reasons:

1. The proposed development would be located within hazardous lands, being the Wollaston Lake regulatory flood hazard. Therefore, the proposed development has the potential to negatively impact the control of flooding.
2. The proposed development does not conform to the CVCA's Watershed Planning and Regulations Policies, specifically:
 - a. The proposed development exceeds the maximum allowable increase in habitable space for reconstruction of a dwelling within the flood hazard, being 50% of the existing dwelling, up to a maximum of 500 ft².

The applicable policies from the CVCA Watershed Planning and Regulations Policy Manual are listed and detailed in the following section of this report. Policies sections that are not relevant to this application have been omitted.

The Board Approved Watershed Planning and Regulations Policy Manual provides a framework for the CVCA and its staff to consistently administer its powers under Ontario Regulation 159/06. When reviewing development applications, the Authority must have regard for its objectives of preventing loss of life and minimizing property damage as a result of natural hazards. Section 3(1) of Ontario Regulation 159/06.

Administrative Policies

The following sections speak to over-arching policies that every application must be tested against. Areas subject to the regulation include several different items with hazardous lands being a critical component. Hazardous lands include all lands that are or could be flooded.

3.8 General Regulation Policies

3.8.1 *That development, interference or alteration will not be permitted within a regulated area, except in accordance with the policies contained within this document. In the event of a conflict between the policies applicable to the development, interference or alteration, the most restrictive policy shall apply.*

3.8.2 *That notwithstanding Policy 3.8.1, the CVCA's Board of Directors may grant permission for development, interference and/or alteration where the application provided evidence acceptable to the Board of Directors that documents the development and/or activity will have no adverse effect on the control of flooding, erosion, pollution or the conservation of land with respect to river or stream valleys, hazardous land, wetland and areas of interference, or result in unacceptable interference with a watercourse or wetland).*

3.8.3 *That development, interference or alteration within a regulated area may be permitted where it can be demonstrated to the satisfaction of CVCA, through appropriate technical reports, assessments, site plans and/ or other documents as required by CVCA, that:*

- ***there is no feasible alternative location for development outside the hazard;***
- ***the risk to public safety is not increased;***
- ***susceptibility to natural hazards is not increased and no new hazards are created (e.g. there will be no impacts on adjacent properties with respect to natural hazards);***
- ***there are no adverse hydraulic or fluvial impacts on rivers, creeks, streams, or watercourses;***
- *negative or adverse hydrological or ecological impacts on natural features and functions, including wetlands, are avoided and mitigated as demonstrated by a qualified professional;*
- *intrusions on natural features, areas and systems contributing to the conservation of land, including areas providing ecological functions and hydrologic functions, are avoided or mitigated as demonstrated by qualified professional;*
- ***access for emergency works and maintenance of flood or erosion control works is available;***
- ***pollution, sedimentation and erosion during construction and post-construction is minimized using best management practices including site, landscape, infrastructure and/or facility design (whichever is applicable based on the scale and scope of the project), construction controls, and appropriate remedial measures;***
- ***the control of flooding, erosion, dynamic beaches, pollution or the conservation of land will not be affected during and post development, interference or alteration;***
- *proposed development is constructed, repaired and/or maintained in accordance with accepted engineering principles and approved engineering standards to the satisfaction of CVCA, whichever is applicable based on the structural scale and scope, and the purpose of the project.*

Hazardous Lands Policies

This component of the Regulation applies to development within hazardous lands which is defined under Section 28 of the CA Act as land that could be unsafe for development due to naturally occurring processes associated with flooding, erosion, dynamic beaches, or unstable soil or bedrock.

The following policies are specific to development in the flood hazard. Any development within a flooding hazard requires permission from the CVCA. In general development within the Regulatory floodplain shall not be permitted.

5.2.1 Development within the Regulatory floodplain shall not be permitted.

Conformity and Discussion

The proposed dwelling and fill placement /grading is located within the regulatory floodplain.

5.2.2 Placement of fill to create a building envelope for future / proposed development within the Regulatory floodplain shall not be permitted.

Conformity and Discussion

To achieve floodproofing requirements, the proposed development would require 91.72 m³ of fill to be placed in the floodplain. With the proposed cut and fill operation, there would be a loss of 43.7 m³ of flood storage capacity on the property, as well as an alteration to the location and contour of the floodplain on the property.

5.2.8 Cut and fill operations will not be permitted on properties that are entirely within the 100-year floodplain.

Conformity and Discussion

The subject lot is not entirely within the 100-year floodplain.

5.3 Specific Policies for Flooding Hazards

5.3.1.2 New single residential development on an existing lot will not be permitted within a flooding hazard regardless of previous approvals provided under the Planning Act or other regulatory process (e.g., Building Code Act).

Conformity and Discussion

The proposed development is considered 'new single residential development' under the CVCA's policies because it exceeds the allowable size increase for minor additions (policy 5.3.1.3)

5.3.1.3 Additions (including ground floor, second storey or an attached garage) to existing residential dwellings located, even partially, within a flooding hazard will be permitted provided it can be demonstrated that:

- *the addition is 50% or less of the original habitable floor space* to a maximum footprint of 46.5 square metres (~500 square feet), whichever is less, or in the case of multiple additions, all additions combined are equal to or less than 50% of the original habitable floor space to a maximum footprint of 46.5 square metres (~500 square feet), whichever is less;*
- *the number of dwelling units is the same or fewer;*
- *the addition will not be subject to flows that could cause structural damage;*
- *where feasible, an improvement in the existing dwelling will occur with respect to floodproofing of the structure;*
- *safe access (ingress/egress) is present;*

- the addition will be floodproofed to an elevation of 0.3 metre above the regulatory flood elevation as per floodproofing standards outlined in Appendix C – Floodproofing Guidelines;
- the structure is properly anchored to prevent flotation, is not subject to damage by flooding or other hazards and flood flows and flood water storage are not impeded;
- *no basement is proposed and any crawl space is designed to facilitate service only;*
- *the proposed development will not prevent access for emergency works, maintenance, and evacuation;*
- *the potential for surficial erosion has been addressed through the submission of proper drainage, erosion and sediment control and site stabilization/restoration plans;*
- *natural features and/or ecological functions associated with conservation of land are protected, pollution is prevented, and erosion hazards have been adequately addressed; and,*
- *the plan has been carried out by a qualified professional with recognized expertise in the appropriate discipline and must be prepared using established procedures and recognized methodologies to the satisfaction of the CVCA.*

These policies apply to any addition to a dwelling that is located entirely or partially in the flood hazard regardless of whether or not the addition, or part thereof, is located in the flood hazard.

A site plan prepared by qualified professional illustrating the elevations of existing and proposed grades and lowest openings of existing and proposed buildings/structures must be submitted. In addition, detailed technical analysis completed by a qualified professional engineer may be required to be submitted to demonstrate the acceptability of the proposal.

Conformity and Discussion

The proposed development (1,368 ft²) is greater than 50% of the existing habitable floor space, up to a maximum of 500 ft². The existing closed-in trailer was 476 ft². The allowable proposed dwelling would be capped at 714 ft² (476 ft² x 1.5 = 714 ft²). The proposed represents an increase of 287% or 892 ft².

5.3.1.4 Additions to existing residential dwellings greater than the size provision identified in 5.3.1.3 above would be considered Single Residential Development and therefore subject to Policy 5.3.1.2.

Conformity and Discussion

This policy renders development proposals that exceed the allowable size increase for additions to be considered ‘new development,’ and subject to Policy 5.3.1.2 (above): new development not permitted within a flooding hazard.

5.3.1.6 Replacement of residential dwellings within a flooding hazard that would result in an increase in dwelling size will be permitted provided it can be demonstrated that the conditions for Minor Residential Additions (Policies 5.3.1.3, 5.3.1.4) can be satisfied, and safe access is present.

Conformity and Discussion

If reconstruction or replacement of a dwelling is proposed where there is an increase in size, CVCA’s dwelling addition policies apply, which, if the allowable size increase is exceeded, ultimately point to policy 5.3.1.2 (above): new development not permitted within a flooding hazard.

5.3.13 Fill Placement, Excavation and/or Grade Modifications

5.3.13.1 Fill placement and or excavation for the purpose of changing the grade on a property within the flood hazard for the purpose of permitting development will not be permitted.

Conformity and Discussion

The proposed development would require placement of fill and grade changes within the flood hazard to achieve minimum floodproofing requirements. With the proposed dwelling surpassing the allowable size increase to be considered reconstruction of existing development, more fill is required to meet the minimum floodproofing requirements than what the CVCA policy prescribes.

5.3.13.2 *Fill placement, excavation, and/or grade modifications: associated with existing access roads and driveways; **required for the purpose of floodproofing existing and/or proposed structures**; required for erosion control; and/or, to facilitate the installation of geothermal, and water and/or sewage treatment systems will be permitted within a flooding hazard provided it can be demonstrated that:*

- *stage-storage and stage-discharge characteristics of the floodplain will be maintained by means of an incrementally balanced cut and fill operation to ensure that there will be no adverse hydraulic or fluvial impacts on rivers, creeks, streams or watercourses. This cut and fill operation must be designed in 0.3 metre vertical increments. Engineered hydraulic analyses may be required, at the discretion of CVCA, to demonstrate that the latter condition has been met and the proposed placement of fill will not have a detrimental effect on upstream water levels or local stream flow velocities;*
- *flood flows will not be impeded; and,*
- *inert fill material will be used. The proponent may be required to provide proof of the origin and quality of the fill material to ensure the control of pollution and the conservation of land is not impacted;*

OR where stage-storage and stage-discharge characteristics of the floodplain cannot be maintained by a balanced cut and fill operation:

- ***fill placement, excavation, and/or grade modifications required for floodproofing purposes will not exceed the minimum amount required to floodproof the structure in accordance with floodproofing guidelines in Appendix C – Floodproofing Guidelines and it must be demonstrated to the satisfaction of CVCA that the control of flooding, erosion pollution or the conservation of land will not be affected;***
- *fill placement, excavation, and/or grade modifications required for sediment and/or erosion control or shoreline stabilization be in accordance with Shoreline Excavation, and Erosion Protection, Shoreline/Bank Stabilization and Sediment Control policies (Policy 6.4.4.4 and Policy 6.4.4.5) and it must be demonstrated to the satisfaction of CVCA that the control of flooding, erosion pollution or the conservation of land will not be affected;*
- *fill placement, excavation, and/or grade modifications required for the replacement of water and/or septic treatment systems may be permitted provided the bed of the treatment system will be located outside the flooding hazard, or where this is not feasible, it is raised, and the amount of fill is limited to the required area and depths as specified by the approval agency. Drainage patterns must be maintained on the property and cannot impact neighbours. The system should be located in the area of lowest risk and it must be demonstrated to the satisfaction of CVCA that the control of flooding, erosion pollution or the conservation of land will not be affected.*

It must also be demonstrated for any project that:

- ***no impacts on the hydraulic or fluvial functions of the river, creek, stream or watercourse will occur and upstream and downstream flow velocities related to increased flood risk or damage are unaffected. An engineered hydraulic analysis may be required, at the discretion of CVCA, to ensure that these matters have been addressed;***
- ***flood flows are not impeded; and,***

- *inert fill material will be used. The proponent may be required to provide proof of the origin and quality of the fill material to ensure the control of pollution and the conservation of land is not impacted.*

A site plan prepared by a qualified professional illustrating the elevations of existing grades and the proposed grades after development must be submitted.

Conformity and Discussion

The proposed development would require placement of fill and grade changes within the flood hazard to achieve minimum floodproofing requirements. The proposed development would require 91.72 m³ of fill to be placed in the floodplain. With the proposed cut and fill operation, there would be a loss of 43.7 m³ of flood storage capacity on the property, as well as an alteration to the location and contour of the floodplain on the property. CVCA staff have not requested that the applicant conduct an engineered hydraulic analysis. The resulting changes to flood flow dynamics and magnitude, and potential upstream and downstream impacts on other properties are therefore unknown. This could be a consideration of the Board.

Summary

Hazard land management was delegated to Conservation Authorities by the Province of Ontario through the establishment of the Conservation Authorities Act and Ontario Regulation 159/06. The CVCA's Watershed Planning and Regulations Policies have been developed to assist CVCA staff with the administration of the Regulation. CVCA staff review development proposals in an effort to protect people and their property in areas susceptible to natural hazards and other areas where development could interfere with the hydrologic function of wetlands.

The proposed development does not conform with the CVCA's Policies, which state:

- 1) That development within the Regulatory floodplain shall not be permitted;
- 2) That new single residential development on an existing lot will not be permitted within a flooding hazard regardless of previous approvals provided under the Planning Act or other regulatory process (e.g., Building Code Act).
 - a) The proposed development exceeds the size increase allowance (50% of original up to 500 ft²) to be considered reconstruction of existing development, and is therefore considered new development under CVCA policies.
- 3) That placement of fill to create a building envelope for future / proposed development within the Regulatory floodplain shall not be permitted.
- 4) That fill placement and or excavation for the purpose of changing the grade on a property within the flood hazard for the purpose of permitting development will not be permitted.

CVCA Staff Recommendation:

CVCA staff therefore recommend that the application be **denied**. The CVCA Watershed Advisory Board must carefully consider the potential implications of granting exceptions to CVCA policy at any hearing, including the ability to set precedent.



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APPLICANT	Christopher Degeer and Beverley Degeer
LOCATION	#229 Beach Lane (Wollaston Lake) Part Lots 16 and 17; Concession 7 Township of Wollaston ARN: 1254-000-015-34400

**APPENDIX A
A1
CVCA Permit Application #232/23**





#232/23
 Date Received Nov. 3/2023

PERMIT APPLICATION FORM

FOR A DEVELOPMENT, INTERFERENCE WITH WETLANDS AND ALTERATIONS TO SHORELINES AND WATERCOURSES PERMIT (CONSERVATION AUTHORITIES ACT - ONTARIO REG. 159/06)

Please provide the completed Permit Application Form to info@crowevalley.com

Contact Information (please print clearly and legibly)			
Property Owner's Name(s): <i>ROBERT CHRISTOPHER DEGEER & BEVERLEY DIANNE DEGEER</i>			
Mailing Address (Street, P.O. Box) <i>P.O. BOX 130 229 BEACH LANE</i>		City <i>COE HILL ON</i>	Postal Code <i>K0L 1P0</i>
Telephone: Home <i>289-221-3550</i>	Work - <i>CHRIS</i> <i>905-787-4013 202</i>	EXT <i>202</i>	Mobile <i>416-574-9518</i>
Email <i>CHRIS.degeer@fulton-canada.com</i> <i>bev.degeer@gmail.com</i>			
Agent's Name(s):		<i>*property owner's letter of authorization or signature to be attached</i>	
Mailing Address (Street, P.O. Box)		City	Postal Code
Telephone: Home	Work	Mobile	
Email			

Is the Owner aware of this application? Yes If No Please explain: _____
 Have you contacted the municipality/township to determine if a Planning Act Application is required? Yes No
 Is a Planning Act Application (minor variance or zoning by-law amendment) required for the proposed development? Yes No

PART 5

Location of Proposed Works (please ensure a map and driving directions are attached)			
Lot <i>16 17</i>	Concession <i>7</i>	Municipality <i>HASTINGS</i>	
Civic Address (i.e. 70 Hughes Lane) <i>229 BEACH LANE COE HILL ON</i>			
Assessment Roll Number (can be found on your tax bill) <i>12-54-000-015-34400-0000</i>		Watercourse/Waterbody (i.e. Belmont Lake, Crowe River, creek) <i>WOLLASTON LAKE</i>	
Existing Land Use (vacant, residential, etc.) <i>RESIDENTIAL</i>		Proposed Land Use <i>RESIDENTIAL</i>	

The processing fee will be determined by the Conservation Authority. The site plan and application MUST include the following:

1. General location of property in relation to roads, shoreline, natural features, etc.
2. **Location and dimensions of all existing structure(s) on property and a site plan with lot dimensions.**
3. Location of any waterway, open water, wetland, steep slope on or near the property and any drainage features (ditches/culverts).
4. Intended location and dimensions of fill, construction, or waterway alteration proposed.
5. Cross-section of proposal showing existing and final grade with elevations from the current water level of any nearby waterway, and elevations of the lowest structure(s) opening if applicable.
6. Current photographs of the property (shoreline, area of proposed development, etc.) with no snow on the ground.

Proposed Works (please complete all sections that apply)

Section A, please refer to page 7:

- Construction of a new structure
- Add to an existing structure(s)
- Renovations resulting in a change in use of an existing structure(s)
- Alter an existing structure(s)
- New dock
- Replace existing dock

Section B, please refer to page 11:

- Install Sewage System
- Place or Remove Fill Material

Section C, please refer to page 12:

- Watercourse Crossing (culvert)

Section D, please refer to page 13:

- Shoreline Protection

Section E:

If proposing a bridge, please contact the CVCA office to determine permit application requirements

- Pond Construction, clean out or repair.

Other: If you do not see your proposed active here, please contact the office for direction and information or see our website.

Please provide a detailed description of the proposed works (If there is not sufficient space below, please provide the required information on a separate piece of paper and/or in the body of your email.)

Example 1: Tear down existing one storey dwelling that is 10 metres from the shoreline of Crowe Lake. Build new two storey dwelling with covered deck and detached garage all being at least 25 metres from the shoreline of Crowe Lake.

Example 2: Replace existing septic bed in same location as existing.

Example : Complete 15 metres of shoreline protection using gabion stone.)

PLEASE REFER TO DOCUMENTATION FROM JBF SURVEYORS & D.M. WILLS ASSOCIATES LIMITED.

I/We the undersigned hereby certify to the best of my/our knowledge and belief that all of the above-noted, attached and/or supporting documentation and information is correct and true. I/we further solemnly declare that I/we have read and fully understand the contents of this application and specifically the terms and conditions on the following page, and the declaration written below.

By signing this application, consent is given to the Crowe Valley Conservation Authority, its employees and authorized representatives to access the property for the purposes of obtaining information and monitoring any approved works pursuant to Section 28(20) of the Conservation Authorities Act.

I, (please print name) CHRIS DEGEER
BEV DEGEER declare that the above information is correct to the best of my knowledge and I agree to abide by Ontario Regulation 159/06.

Signature: Chris Degeer Date: OCT 30 2023

NOTE: Signature or Written Authorization of Landowner is Mandatory. Landowner authorization form follows this page.

I am the: Owner Agent Contractor Other: _____

The information on this form is being collected, and will be used, for the purposes of administering a Regulation made pursuant to Section 28 of the Conservation Authorities Act, R.S.O. 1990 C27.

NOTE: Further information and studies may be required by the Crowe Valley Conservation Authority (CVCA) in order to process this file, the cost of which will be borne by the applicant or their agent. This information may include details related to wetlands, floodplains, hydraulics, slope stability or stream systems. Once completed, all studies become the joint property of the CVCA and the landowner and the information may be used by the CVCA, its member municipalities and partners. In order for members of the public to view any studies, plans and reports related to your permit, a formal request under the **Municipal Freedom of Information Protection and Privacy Act**, RSO 1990, c.M.56, is required. Access is subject to statutory exemptions. The same is true should you wish to access any studies, plans and reports pertaining to other's permits. Insufficient information may delay the processing of your application. This application does not relieve the applicant of the obligation to secure any other necessary approvals. Fees are subject to change without notice.

Landowner Authorization

If this Permit Application is to be submitted by a solicitor/ contractor/ agent on behalf of the owner(s), this Landowner Authorization must be completed and signed by the owner(s). If the owner is a corporation acting without agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

NOTE TO OWNER(S)

Please note that the Crowe Valley Conservation Authority staff reserve the right to discuss any or all aspects of the permitting process with the property owner.

If the Permit Application is to be prepared by a solicitor/ contractor/ agent, authorization should not be given until the Permit Application and its attachments have been examined and approved by you the owner(s). All submissions are the responsibility of the owner(s).

I/ We _____

Print full name of owner

Hereby Authorize _____

Print full name of Solicitor/ Contractor/ Agent

To submit the enclosed Application of Permit to the Crowe Valley Conservation Authority and to provide any further information or material required by Authority Staff relevant to the Application of Permit for the purpose of obtaining a Permit to fill, construct or alter a watercourse in accordance with the requirements of Ontario Regulation 159/06.

Signature of Owner(s) _____ Date _____

Signature of Solicitor/ Contractor/ Agent _____ Date _____

TERMS AND CONDITIONS

The Applicant, by acceptance and in consideration of the issuance of this Permit Application agrees to the following conditions:

1. The Owner and Applicant agrees:
 - a. to indemnify and save harmless, the CVCA and its officers, employees, or agents, from and against all damage, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omissions of the Owner and Applicant or any of his/her agents, employees or contractors relating to any of the particulars, terms or conditions of this Permit Application
 - b. that this Permit Application shall not release the Owner and Applicant from any legal liability or obligation and remains in force subject to all limitations, requirements and liabilities imposed by law;
2. This Permit Application shall not be assigned or assumed by any subsequent purchaser, transferee or grantee.
3. This Permit Application does not absolve the Applicant of the responsibility of obtaining necessary permission from applicable federal, provincial or local agencies.
4. Should default be made by the Owner and Applicant in compliance with, or satisfaction of, the enumerated conditions and or submitted application, the CVCA may enter upon the property with respect to which conditional approval is granted and cause said conditions to be satisfied if necessary, the expense of which will be the sole responsibility of the Owner and Applicant.
5. The work shall be carried out as per the approved plans and specifications submitted in support of the application and as amended by the approval of this permit.
6. The Owner and Applicant agree to maintain all existing drainage pattern(s), and not to obstruct external drainage from other adjacent private or municipal lands. Changes to existing drainage pattern(s) requires permission from the CVCA.
7. The permit granted under this regulation is valid for TWO years from the date of issue and it is the responsibility of the Owner and Applicant to ensure that a valid permit is in effect at the time of works occurring.
8. The Owner and Applicant may appeal any or all of the stated conditions of the permit to the Board of the Conservation Authority.

MINIMUM APPLICATION REQUIREMENTS

General Requirements

Your Checklist.

Please check off each of these items once they are completed.

<input checked="" type="checkbox"/>	Completed application form signed and dated by landowner or authorized agent.
<input checked="" type="checkbox"/>	Location map of subject property, and clear driving directions.
<input checked="" type="checkbox"/>	Site Plan of property showing location, area and dimensions of existing structure(s), wells and septic systems to scale on the property.
<input type="checkbox"/>	Location of any natural features on or adjacent to the property including: watercourses, shorelines, wetlands, ponds, drainage routes (including seasonal/annual spring flood areas), woodlots and valleys.
<input type="checkbox"/>	Detailed design drawings of the proposed development (if available).
<input type="checkbox"/>	Current photographs of the property (shoreline, area of proposed development, etc.) with no snow on the ground
<input type="checkbox"/>	Do you own shoreline allowance? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If no, please obtain a letter of permission from your municipality/township.
<input checked="" type="checkbox"/>	<p>Detailed Site Plan (accurate & legible). Please provide measurements in metres or feet (not inches or millimeters). As an example measurement should read 37 feet 4 inches or 11.4 metres not 448 inches or 11,379 mm.</p> <p><i>If a site plan is not provided, your application will be considered incomplete and WILL NOT BE PROCESSED.</i></p> <p>-If renovating or replacing or adding to an existing structure(s) please provide: (1) a site plan of the existing development, (2) a site plan of the proposed development and (3) a site plan of the proposed development overlaid on the existing development on three (3) separate site plans.</p> <p>Should your proposed development fall within a known or potential hazard (i.e. floodplain or erosion hazard) Additional information that may be required to process a permit application includes but is not limited to:</p> <ul style="list-style-type: none"> • Copy of a legal survey of the property; • Professionally prepared topographic survey, Lot Grading/Drainage Plan; • Flood Plain Analysis/Delineation Study, Hydrology/Hydraulic Analysis; • Environmental Impact Study, Planting or Vegetation Plan or Tree Retention Plan; • Hydrogeological Analysis, Fluvial Geomorphological Assessment, Meander Belt Allowance Assessment; • Stormwater Management Plan or Sediment and Erosion Control Plan; and/or, • Slope Stability/Erosion Study.

Section A: Structure(s) (New or Altered).

In addition to the general requirements the following is required. If there is not sufficient space below, please provide the required information on a separate piece of paper and/or in the body of your email. If a portion is not applicable, please fill in as N/A. If it is determined that the proposed works are within the floodplain or erosion hazard additional information will be required, please see page 14.

Existing Dwelling (if applicable):

Size of main/ground level of existing dwelling. We will require both the square footage **and** footprint dimensions.
(i.e. square footage = 720 square feet, footprint = 36 foot by 20 foot):

N/A

Number of storey(s) of existing dwelling including second storey, basement (finished or unfinished), lofts, and crawlspace:

N/A

Size of additional storey(s)/loft of existing dwelling. We will require both the square footage **and** footprint dimensions

N/A

Size of basement (finished or unfinished) or crawlspace of existing dwelling. We will require both the square footage **and** footprint dimensions.

N/A

Distance from high water mark or natural feature(s), roadway, property lines, other structure(s) to existing dwelling:

N/A

Existing Deck/Porch/Veranda (if applicable):

Size of existing deck. We will require both the square footage **and** footprint dimensions.
(i.e. square footage = 144 square feet, footprint = 12 foot by 12 foot)

N/A

Is the existing deck/porch/veranda covered or Uncovered

Distance from high water mark, natural feature(s), roadway, property lines, other structure(s) to existing deck/

porch/veranda:

N/A

Existing Garage (if applicable):

Size of existing garage We will require both the square footage **and** footprint dimensions.

(i.e. square footage = 240 square feet, footprint = 20 foot by 12 foot)

N/A

Is the existing garage attached Detached

Is the existing garage habitable? Yes No

Number of storey(s) of existing garage (if applicable):

N/A

Distance from high water mark, natural feature(s), roadway, property lines, other structure(s) to existing garage:

N/A

Proposed Dwelling (if applicable):

Size of proposed dwelling. We will require both the square footage **and** footprint dimensions.

(i.e. square footage = 1,200, footprint = 40 foot by 30 foot)

1368 square feet = 48 feet x 31.3 feet

Number of storey(s) of proposed dwelling including second storey, basement, lofts, and crawlspace:

2 crawlspace + main floor

Size of additional storey(s)/loft of proposed dwelling. We will require both the square footage **and** footprint dimensions:

N/A

Size of basement or crawlspace of proposed dwelling. We will require both the square footage **and** footprint dimensions.

1368 square feet = 48 feet x 31.3 feet

Distance from high water mark or natural feature(s), roadway, property lines, other structure(s) to proposed dwelling:

Proposed Deck/Porch/Veranda (if applicable):

Size of proposed deck. We will require both the square footage **and** footprint dimensions.
(i.e. square footage = 300 square feet, footprint = 15 foot by 20 foot).

N/A

Is the proposed deck/porch/veranda covered or Uncovered

Distance from high water mark, natural feature(s), roadway, property lines, other structure(s) to proposed deck/porch/veranda:

N/A

Proposed Garage (if applicable):

Size of proposed garage We will require both the square footage **and** footprint dimensions.
(i.e. square footage = 400 square feet, footprint = 20 foot by 20 foot)

N/A

Is the proposed garage Attached or Detached

Will the proposed garage be habitable? Yes No

Number of storey(s) of proposed garage, if more than one storey please provide details (i.e. loft, full second storey):

N/A

Distance from shoreline or natural feature(s), roadway, property lines, other structure(s) to proposed garage:

N/A

Section A(i): Accessory and Detached Structure(s) (i.e. boathouse(s), dock(s), shed(s), bunkie(s), etc.).
In addition to the general requirements the following is required. If there is not sufficient space below, please provide the required information on a separate piece of paper and/or in the body of your email. If a portion is not applicable, please fill in as N/A.

Existing Development (if applicable)

Size of existing development/structure(s). We will require both the square footage **and** footprint dimensions.
(i.e. square footage = 300 square feet, footprint = 20 foot by 15 foot)

SHED 8 x 12 _____

Number of storey(s) of existing structure(s) (if applicable): 1

Distance from high water mark, natural feature(s), roadway, property lines, other structure(s):

Proposed Development (if applicable):

Size of proposed development/structure(s) We will require both the square footage **and** footprint dimensions.
(i.e. square footage = 500 square feet, footprint = 25 foot by 20 foot)

N/A _____

Distance from high water mark, natural feature(s), roadway, property lines, other structure(s):
N/A _____

Section B: Fill Placement, Grading or Sewage Systems (In addition to the general requirements the following is required)

Dimensions of the proposed fill area and the depth of fill required:

SEE DOCUMENTS FROM D.M. WILLS

Description of proposed fill (e.g. crushed stone, sand, and/or mix):

SEE DOCUMENTS FROM D.M. WILLS

Volume of fill (in cubic metres):

SEE DOCUMENTS FROM D.M. WILLS

New Sewage System or Replacement of Existing

If replacing an existing septic system is this an emergency replacement? Yes No

Size of septic tank (if applicable): 9' X 6' 6"

If the sewage system is a replacement system is it the same size as the existing system? Yes No

If no, please explain the reason for the change in size: NEW DWELLING

Is the sewage system in a new location? Yes No

If yes, please explain: NEW DWELLING

Size (footprint dimensions) of septic bed: 22m²

If the sewage system is replacing a failed sewage system please explain (if known) why the existing sewage system failed:

N/A

Distance from high water mark, natural feature(s), edge of roadway, property lines, other structure(s) of the proposed

sewage system: SEE DOCUMENT FROM D.M. WILLS
SEE EMAIL FROM KEVIN MACE 10/24/23.

N/A.

Section C: Culverts and Water Crossings. In addition to the general requirements the following is required, please check off once you have confirmed you have included the below. If the proposed works is a bridge, please contact the CVCA office for permit application requirements

<input type="checkbox"/>	Statement and purpose of proposed works.
<input type="checkbox"/>	Drawing showing in plain view and cross-sectional detail the existing and proposed watercourse or watercourse crossing including dimensions.
<input type="checkbox"/>	Location, length, diameter, type and pipe invert for any proposed culvert(s).
<input type="checkbox"/>	Details of staging construction (commencement, order of works, completion, etc.) if required.
<input type="checkbox"/>	Drawing showing plan view and cross-sectional detail of existing and proposed shoreline including dimensions.
<input type="checkbox"/>	Site restoration plan including planting details.
<input type="checkbox"/>	Details of erosion and sediment control measures to be implemented prior to commencement of work and throughout construction period.

Please provide the following information:

Drawing showing in plain view and cross-sectional detail the existing and proposed watercourse or watercourse crossing detail including dimensions.

Is it replacing an existing culvert? Yes No

If yes, reason for culvert replacement: _____

Is the proposed culvert in the same location as the existing culvert? Yes No

If the proposed culvert is in different location, please provide details:

Length of existing culvert: _____ Diameter of existing culvert: _____

Length of proposed culvert: _____ Diameter of proposed culvert: _____

Type and pipe invert for any proposed culvert(s):

Same Number of Culvert(s)? Yes No

If no, please provide number of new culverts, sizes and reason for change:

Details of any proposed fill (i.e. rip rap) to be placed around culvert:

Length: _____

Width: _____

Volume: _____

Please provide a detailed de-watering plan: _____

N/A.

Section D: Shoreline Works. In addition to the general requirements the following is required.

****Photographs of the shoreline are required (no snow), demonstrating that active erosion is taking place****

Have you considered a natural shoreline (i.e. planting of native plants, targeted placement of rocks, bioengineering)?

Yes No , if no please explain why: _____

Please explain, in detail, the erosion concern(s) you or your client are experiencing and why hardening of the shoreline is proposed: _____

Total length of shoreline: _____

Total length of shoreline with active erosion: _____

Total length of proposed shoreline works: _____

Height of existing shoreline embankment: _____

Height of proposed shoreline embankment: _____

Type of material (i.e. gabion stone, boulders): _____

Volume of material (cubic metres): _____

Is the material going on non-woven geotextile material? Yes No

Will the proposed works maintain the existing contours and height of the shoreline embankment? Yes No

If no, please explain: _____

Please indicate the proposed slope (check all that apply). Below we are requesting information on the proposed slope measured as run over rise, i.e. 3 Horizontal feet for every 1 foot of Vertical rise.

3H:1V or gentler 2H:1V 1H:1V Existing Retaining Wall Replacement

Replacement of existing retaining walls exceeding two tiers (greater than one metre in height) will require engineered drawings. New retaining walls are not permitted.

Please note: Bioengineering combines structural engineering principles with the use of vegetation for shoreline stabilization and erosion control. Hard material such as rocks, boulders, and armour stone do NOT qualify as bioengineering

Requirements for Development within the Floodplain and Erosion Hazard

New development will not be permitted within hazardous lands unless the proposed development is replacing an existing development or development that by its nature is within hazardous lands (i.e. docks by their nature are within the flood and erosion hazard). Development within hazardous lands that cannot be moved outside of the hazard will be subject to current CVCA Board Approved Policies (i.e. size limitations, floodproofing, additional engineering requirements, etc.).

Floodplain

If it has been determined that your proposed development is within the floodplain additional information and requirements will be requested as part of your permit application. Size restrictions will also be applied. As part of a complete application for development within a floodplain the CVCA will require the following:

- The applicant will have to demonstrate that there is no feasible alternative outside of the flood hazard. If there is room to move outside of the floodplain the existing footprint will not be honoured regardless of other approvals such as the Planning Act.
- An elevation survey, completed by an Ontario Land Surveyor, showing the following:
 - o Plot the 1:100-year floodplain in CGDV28 (please contact the CVCA office for the regulatory flood elevations)
 - Spot elevations (in 2m by 2m grid pattern.)
 - o Plot the 6 metre setback from the floodplain
 - o Elevations of the proposed build footprint taken in an "X" pattern (four corners and center)
 - o Elevations of the finished floor elevation of the main level, finished floor elevation of the crawlspace or basement and lowest opening into the proposed structure(s). Please see table below for floodproofing requirements.
 - o Elevations of the lowest level opening and finished floor elevation of existing structures (if applicable)

The minimum standards for floodproofing are based on the Regulatory Flood elevation. The following table depicts the minimum elevations for various features and structure(s):

Opening into structure(s)	Regulatory flood elevation +0.3m
Basement Floor	Regulatory flood elevation -1.0m
Fill places around buildings and structure(s)	Regulatory flood elevation
Electrical and Heating circuits	Regulatory flood elevation +0.3m
1st floor (main) on raised buildings and structure(s)	Regulatory flood elevation +0.3m
Access roads, parking areas	Regulatory flood elevation -0.3m
Pedestrian Access	Regulatory flood elevation -0.8m

Erosion Hazard

If it has been determined that your proposed development is within the erosion hazard additional information and requirements will be requested as part of your permit application. Size restrictions will also be applied. As part of a complete permit application for development within the erosion hazard the CVCA will require the following:

- The applicant will have to demonstrate that there is no feasible alternative outside of the erosion hazard (if there is room to move outside of the erosion hazard the existing footprint will not be honoured regardless of other approvals such i.e. the Planning Act).
- If there is no alternative outside of the erosion hazard, a geotechnical assessment, completed by a qualified professional, may be required to include the following:
 - o Toe erosion allowance
 - o Stable slope allowance
 - o Erosion access allowance. A minimum erosion access allowance of 6 metres is used from the top of stable slope (after accounting for toe erosion).
 - o A cross section showing the top of slope (after accounting for toe erosion)
 - o Completion of a slope inspection record and a slope stability rating chart (Tables 4.1 and 4.2 from the MNR Technical Guide – River & Stream Systems: Erosion Hazard Limit (2002)). The results of these findings will determine the level of investigation required.
 - o Potential impacts of the proposed development on neighbouring properties
 - o Design bearing values
 - o Caisson/pile/foundation designs
 - o Potential for settlement
 - o Potential causes of instability
 - o Safe slopes of banks and excavation walls
 - o Soil stabilization methods and comparison of benefits
 - o Relation of hazards to proposed development
 - o Long-term stable slope crest position and inclination
 - o Factor of safety
 - o Failure surfaces
 - o Methods for soil erosion/sedimentation control
 - o Methods for minimizing impacts on vegetation and root systems

THE BALA HIGHLIGHTS

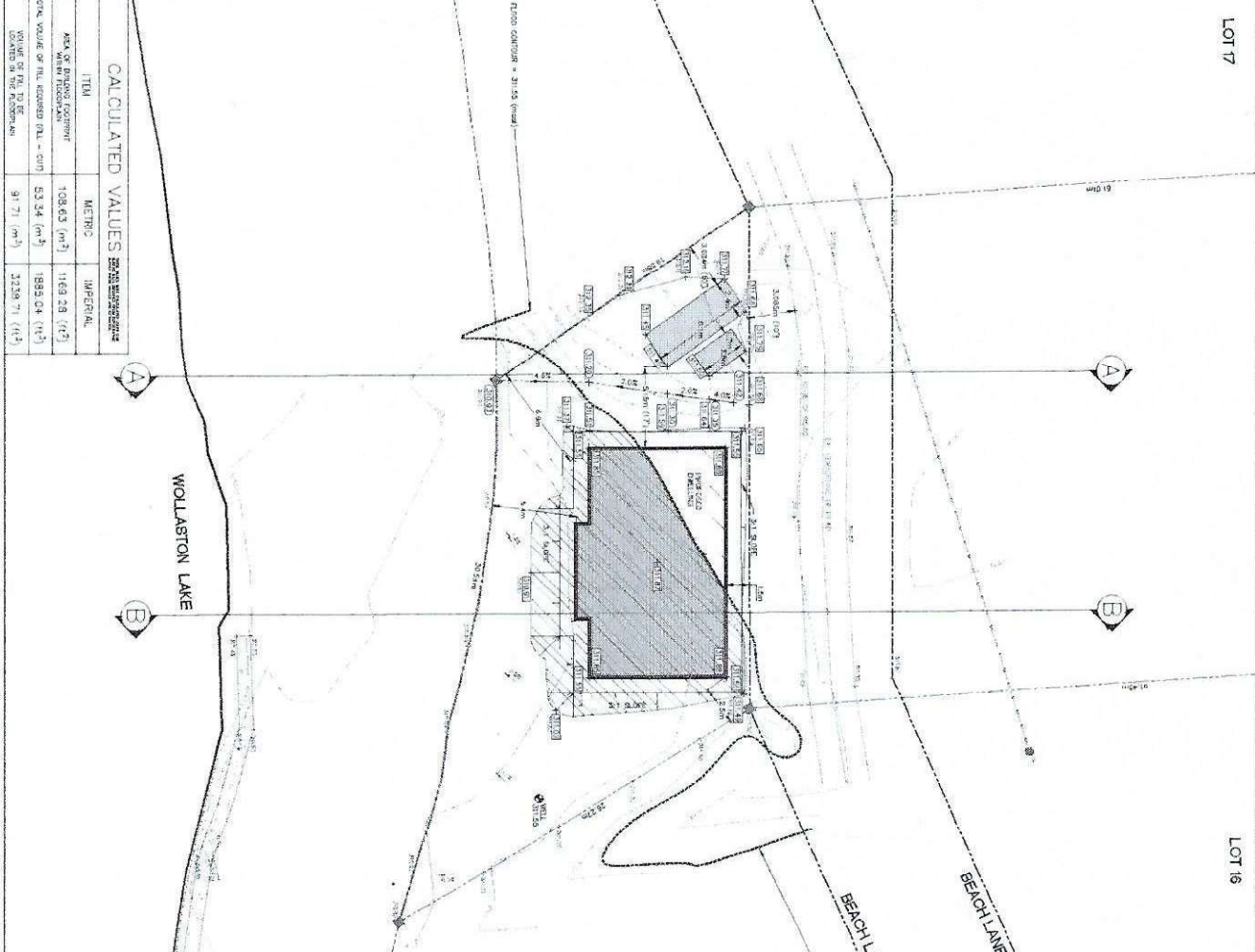
- Cathedral Ceiling
- Large Windows
- Three Bedrooms

1368

 SQ. FT.*

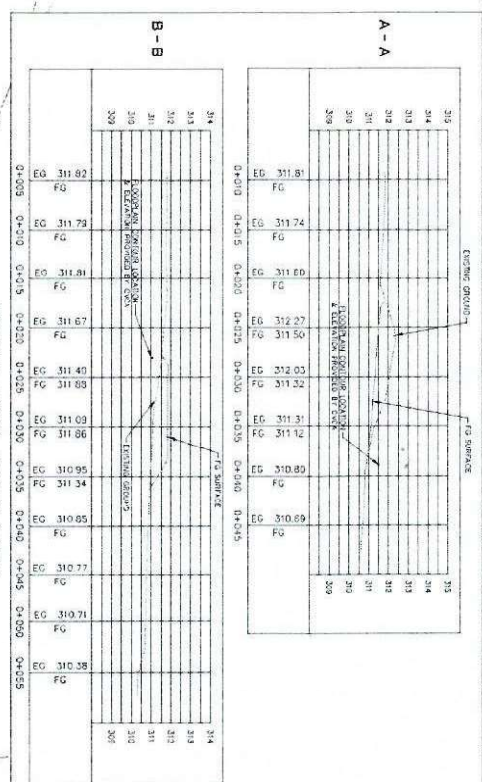
MAIN FLOOR

↑ **ENTRANCE**



CALCULATED VALUES

ITEM	METRIC	IMPERIAL
AREA OF BEACH FOOTPRINT WITH FLOORPLAN	108.63 (m ²)	1169.28 (ft ²)
TOTAL VOLUME OF ALL EXISTING (ILL - CON)	53.34 (m ³)	1893.04 (ft ³)
VOLUME OF FILL TO BE CONCRETED IN THE FLOORPLAN	91.71 (m ³)	3239.71 (ft ³)



KEY NORTH PLAN

NOT FOR CONSTRUCTION

LEGEND

- PROPOSED TO CONN
- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING TO BE RECONSTRUCTED
- EXISTING TO BE RECONSTRUCTED WITH DIFFERENT FINISH
- EXISTING TO BE RECONSTRUCTED WITH DIFFERENT FINISH AND COLOR
- EXISTING TO BE RECONSTRUCTED WITH DIFFERENT FINISH AND COLOR AND MATERIAL
- EXISTING TO BE RECONSTRUCTED WITH DIFFERENT FINISH AND COLOR AND MATERIAL AND FINISH
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229 BEACH LANE, ONE HILL WOLLASTON

GRADING PLAN

DATE: 11/10/2023

PROJECT: 229 BEACH LANE, ONE HILL WOLLASTON

DESIGNED BY: [Name]

CHECKED BY: [Name]

DATE: 11/10/2023

PROJECT: 229 BEACH LANE, ONE HILL WOLLASTON

W.I.L.S.

Professional Engineer

11100-11199

229 BEACH LANE, ONE HILL WOLLASTON

DATE: 11/10/2023

PROJECT: 229 BEACH LANE, ONE HILL WOLLASTON

Re: grading Plan

mace4 mace4 <mace4@sympatico.ca>

Tue 10/24/2023 10:29 AM

To: Chris Degeer <Chris.Degeer@fulton-canada.com>

Hi Chris

Here are the answers to CVCA.

- a. Class 4 Septic System. 800 gallon septic tank and filter bed
- b. Class 4 Septic System, 800 gallon septic tank, 22m2 filter bed
- c. Dimensions - septic tank - 9' X 6' 6", filter bed 22m2
- d. Setbacks - shoreline 50' min. , flood plane - as required, structures - tank 5' min. building - 17' min.
- e. septic system - 30 tonne filter sand, 15 tonne stone
- f. filter runs will be installed at flood elevation or above.

Hope this helps and any other questions, please let me know.

Kevin

----- Original Message -----

From: Chris.Degeer@fulton-canada.com

To: rsturtridge@dmwills.com Cc: mace4@sympatico.ca; bev.degeer@gmail.com

Sent: Wednesday, October 18, 2023 2:07 PM

Subject: grading Plan

Hi Ryan,

I hope you are doing well.

I was speaking with Kevin Mace, the Septic Installation Contractor.

Would you be able to send a bigger and clear picture of the grading plan so Kevin can see the measurements better

of the septic system and setbacks. So, he will be able to answer the questions Andrew has asked below under my name.

I really appreciate all your help and assistance with this project.

Regards



REPORT FOR: CROWE VALLEY CONSERVATION AUTHORITY WATERSHED ADVISORY BOARD

**REGARDING: ONTARIO REGULATION 159/06, PERMIT APPLICATION NO. 000/23 BEING:
A DWELLING AND SEPTIC SYSTEM LOCATED WITHIN THE WOLLASTON LAKE FLOOD HAZARD.**

DATE: NOVEMBER 9, 2023

HEARING DATE	November 16, 2023
DATE APPLICATION RECEIVED	November 1, 2023
DATE HEARING REQUESTED	November 1, 2023
APPLICANT	Christopher Degeer and Beverley Degeer
LOCATION	#229 Beach Lane (Wollaston Lake) Part Lots 16 and 17; Concession 7 Township of Wollaston ARN: 1254-000-015-34400

APPENDIX A

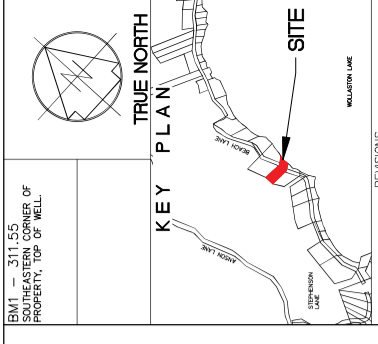
A2

Site Plan / Grading Plan (DM Wills; 9 Nov. 2023; stamped by engineer)



LOT 17

LOT 16

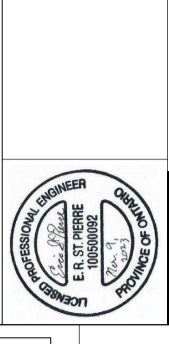


No.	REVISIONS Description	Date
2	2nd SUBMISSION TO CVCA	11/09/23
1	SUBMISSION TO CVCA	08/17/23

METRIC
Dimensions are in METRES and/or MILLIMETRES unless otherwise shown TO BE READ IN CONJUNCTION WITH CAD 100 SERIES

LEGEND

- EX./PR. BUILDING
- EX./PR. ROAD CENTERLINE
- EX./PR. EDGE OF SHOULDER/GRAVEL
- EXISTING HYDRO POLE
- EXISTING POLE ANCHOR
- IRON BAR
- X 215.00 EX./PR. ELEVATION
- X (214.00) PR. SWALE ELEVATION
- 1.0% EX./PR. GRADE
- EX. OVERHEAD HYDRO
- R.O.W.
- PROPERTY LINE
- EX./PR. FLOOD PLAIN CONTOUR AND OFFSET
- 100.0 EX./PR. CONTOUR
- EXISTING EDGE OF WATER/STREAM
- B.M. ELEV
- BENCHMARK
- EX./PR. DITCH/SWALE
- BUILDING FOOTPRINT AREA WITHIN FLOODPLAIN
- FLOODPLAIN
- LIMIT OF GRADING
- SEPTIC TANK & SEPTIC BED
- PROPOSED SILT FENCE

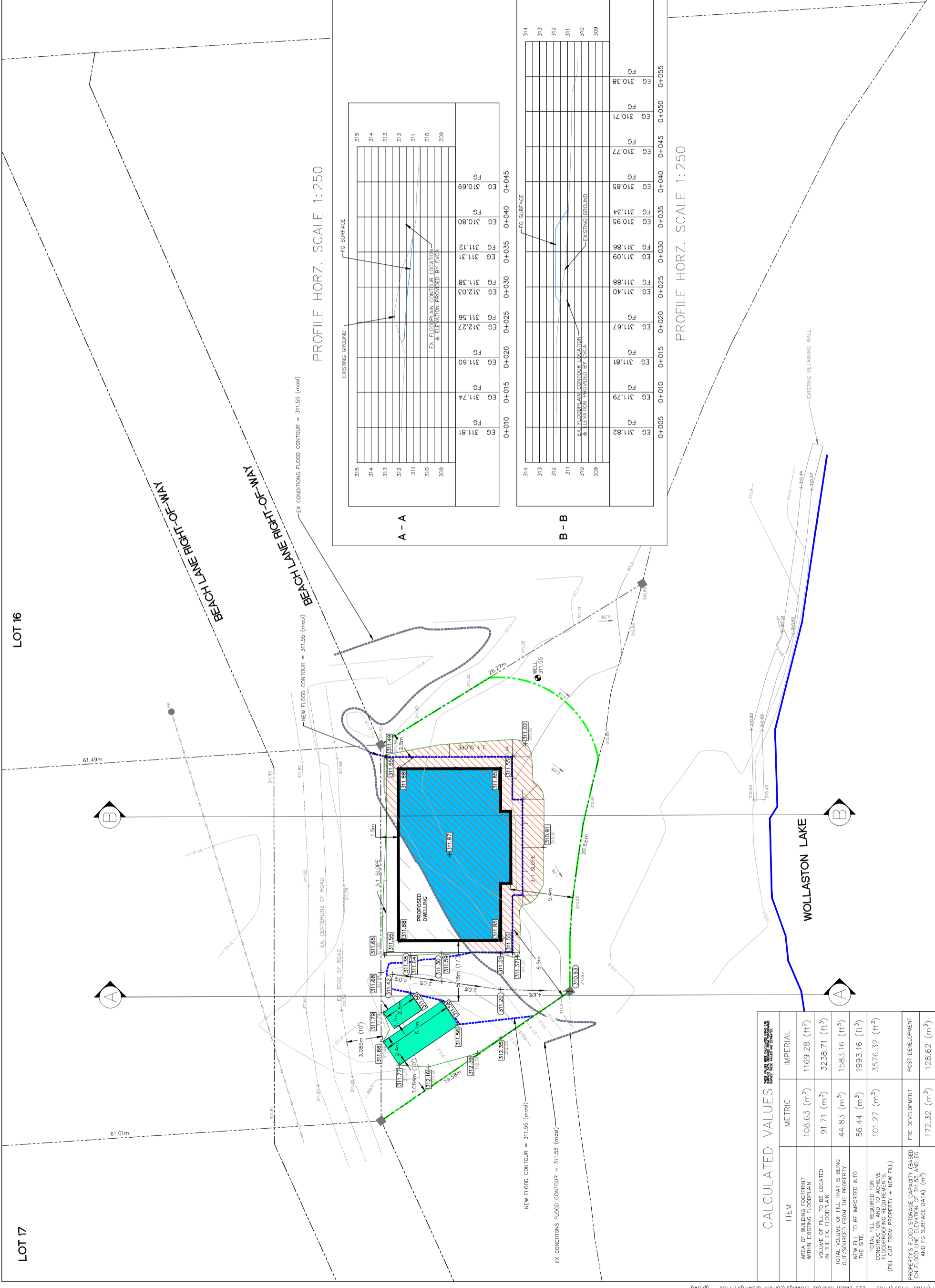


WILLS
Project Name/Location
229 BEACH LANE, COE HILL, WOLLASTON

GRADING PLAN
229 BEACH LANE, COE HILL, WOLLASTON

Drawn By: RS	SCALE: Horz. 1:150	Vert. 1:50
Designed By: RS	Issue Date: November 9, 2023	
Checked By: ESP	Project No.: 11109	Sh. No.: 01
Engineer: ESP	Draw File No.: 11109 - GP	

NOT FOR CONSTRUCTION



CALCULATED VALUES

ITEM	METRIC	IMPERIAL
AREA OF BUILDING FOOTPRINT WITHIN EXISTING FLOODPLAIN	108.63 (m ²)	1169.28 (ft ²)
VOLUME OF FILL TO BE LOCATED IN THE EX. FLOODPLAIN	91.71 (m ³)	3238.71 (ft ³)
TOTAL VOLUME OF FILL THAT IS BEING CUT/SOURCED FROM THE PROPERTY	44.83 (m ³)	1583.16 (ft ³)
NEW FILL TO BE IMPORTED INTO THE SITE	56.44 (m ³)	1993.16 (ft ³)
TOTAL FILL REQUIRED FOR CONSTRUCTION AND TO ACHIEVE PROPOSED FINISHED GRADE (FILL CUT FROM PROPERTY + NEW FILL)	101.27 (m ³)	3576.32 (ft ³)
PROPERTY'S FLOOD STORAGE CAPACITY (BASED ON FLOOD LINE ELEVATION OF 311.55 AND EG AND FG SURFACE DATA) (m ³)	PRE DEVELOPMENT 172.32 (m ³)	POST DEVELOPMENT 128.62 (m ³)



REPORT FOR: CROWE VALLEY CONSERVATION AUTHORITY WATERSHED ADVISORY BOARD

**REGARDING: ONTARIO REGULATION 159/06, PERMIT APPLICATION NO. 000/23 BEING:
A DWELLING AND SEPTIC SYSTEM LOCATED WITHIN THE WOLLASTON LAKE FLOOD HAZARD.**

DATE: NOVEMBER 9, 2023

HEARING DATE	November 16, 2023
DATE APPLICATION RECEIVED	November 1, 2023
DATE HEARING REQUESTED	November 1, 2023
APPLICANT	Christopher Degeer and Beverley Degeer
LOCATION	#229 Beach Lane (Wollaston Lake) Part Lots 16 and 17; Concession 7 Township of Wollaston ARN: 1254-000-015-34400

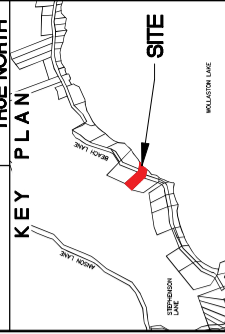
APPENDIX A

A3

Cut and Fill Plan (DM Wills; 9 Nov. 2023; stamped by engineer)



B01 - 311.55
SOUTHEASTERN CORNER OF
PROPERTY, TOP OF WELL.



No.	REVISIONS Description	Date
1	2nd SUBMISSION TO CVCA	11/09/23
2	SUBMISSION TO CVCA	08/17/23

METRIC
CONVERSIONS TO METRES and/or
MILLIMETRES unless otherwise shown
TO BE READ IN CONJUNCTION
WITH PDS-100 SERIES

LEGEND



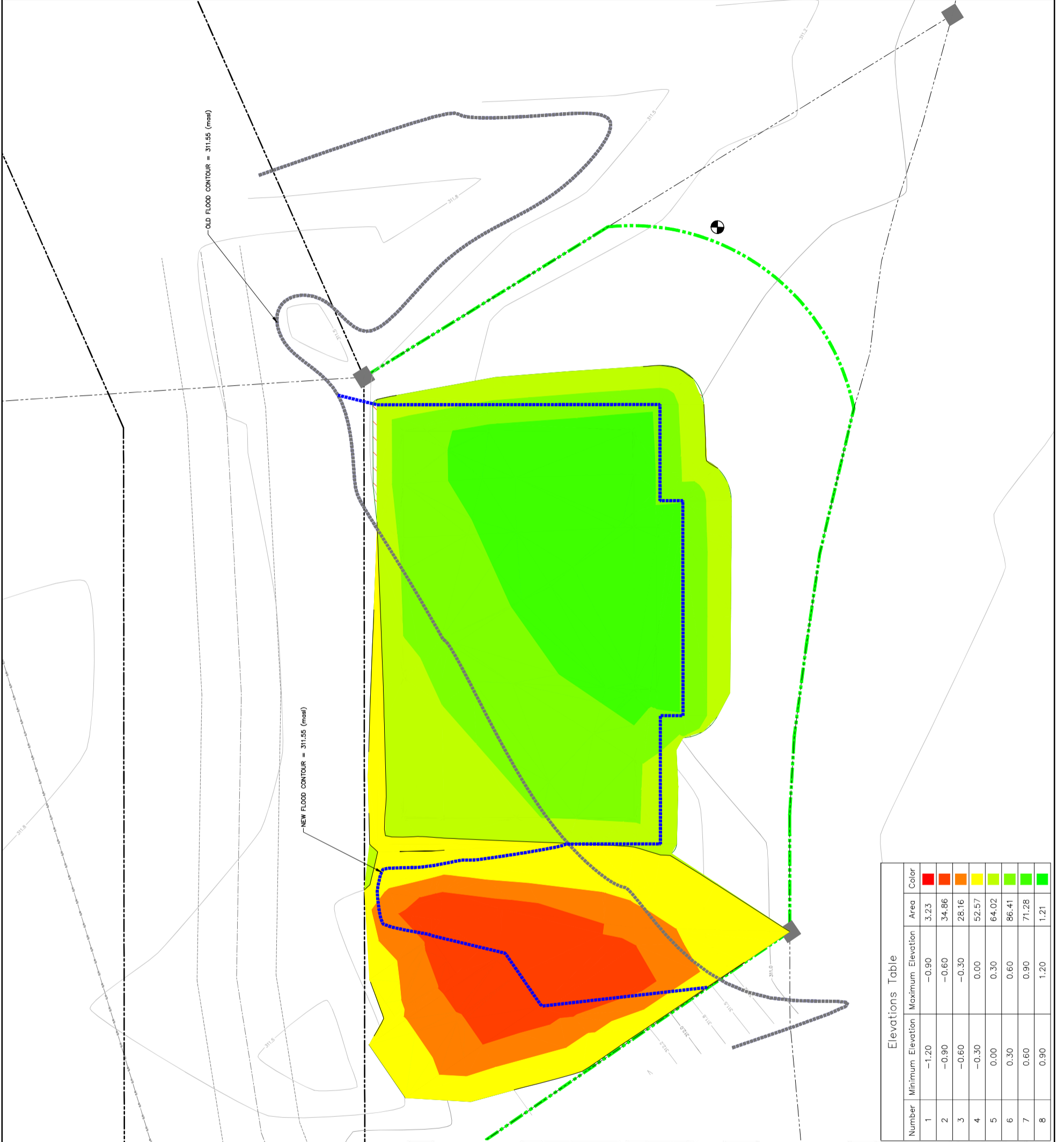
WILLS
D.M. Wills Associates Limited
150 Jameson Drive
Scarborough, Ontario
Canada M1V 1B9
P: 753.242.2927
F: 753.248.9244
E: wills@dmiwlls.com

Project Name/Location
229 BEACH LANE
229 BEACH LANE, COE HILL, WOLLASTON

Drawing Title
CUTFILL PLAN

Drawn By: RS SCALE: Horiz. 1:75 Vert. 1:50
Designed By: RS Issue Date: November 9, 2023
Checked By: ESP Project No.: 11109 Sh. No.:
Engineer: ESP Draw File No.: 11109 - GP 02

NOT FOR CONSTRUCTION



Number	Minimum Elevation	Maximum Elevation	Area	Color
1	-1.20	-0.90	3.23	Red
2	-0.90	-0.60	34.86	Orange
3	-0.60	-0.30	28.16	Yellow
4	-0.30	0.00	52.57	Light Green
5	0.00	0.30	64.02	Green
6	0.30	0.60	86.41	Dark Green
7	0.60	0.90	71.28	Lightest Green
8	0.90	1.20	1.21	Lightest Green

FLOODPLAIN ONLY Cut/Fill Report

Generated: 2023-08-14 09:19:56
By user: rsturnidge
Z:\11100-11199\11109 - 229 Beach Lane\02 Drawings\Current Drawings\Z:\11100-11199\11109 - 229 Beach Lane\02 Drawings\Current Drawings\11109 - GP.dwg

Volume Summary

Name	Type	Cut Factor	Fill Factor	2d Area (sq.m)	Cut (Cu.M)	Fill (Cu.M)	Net (Cu.M)
FG VS EGVOLUME SURFACE	fill	1.000	1.000	230.98	1.98	93.69	91.71<Fill>

Totals

2d Area (sq.m)	Cut (Cu.M)	Fill (Cu.M)	Net (Cu.M)
230.98	1.98	93.69	91.71<Fill>

* Value adjusted by cut or fill factor other than 1.0

SITE Cut/Fill Report

Generated: 2023-11-03 11:44:23
By user: rsturnidge
Z:\11100-11199\11109 - 229 Beach Lane\02 Drawings\Current Drawings\Z:\11100-11199\11109 - 229 Beach Lane\02 Drawings\Current Drawings\11109 - GP.dwg

Volume Summary

Name	Type	Cut Factor	Fill Factor	2d Area (sq.m)	Cut (Cu.M)	Fill (Cu.M)	Net (Cu.M)
FG VS EGVOLUME SURFACE	fill	1.000	1.000	341.74	44.83	101.27	56.44<Fill>

Totals

2d Area (sq.m)	Cut (Cu.M)	Fill (Cu.M)	Net (Cu.M)
341.74	44.83	101.27	56.44<Fill>

* Value adjusted by cut or fill factor other than 1.0



REPORT FOR: CROWE VALLEY CONSERVATION AUTHORITY WATERSHED ADVISORY BOARD

**REGARDING: ONTARIO REGULATION 159/06, PERMIT APPLICATION NO. 000/23 BEING:
A DWELLING AND SEPTIC SYSTEM LOCATED WITHIN THE WOLLASTON LAKE FLOOD HAZARD.**

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APPENDIX A

A4

Site Plan with Floodplain and Elevations (JBF Surveyors; 31 Mar. 2023)



METRIC:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

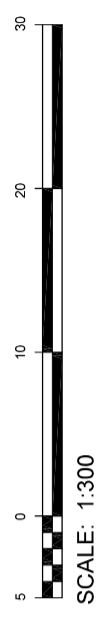
CAUTION: THIS IS NOT PLAN OF SURVEY



LOT 16

LOT 17

SITE PLAN AT
229 BEACH LANE
WOLLASTON TOWNSHIP
COUNTY OF HASTINGS



DATE: 31 MARCH, 2023

LEGEND

- DENOTES PROPOSED DIMENSION
- DENOTES SETBACKS FROM WATER'S EDGE AS PER INSTRUCTIONS FROM CROWE VALLEY CONSERVATION AUTHORITY DATED 08 SEPTEMBER 2021
- DENOTES ENCROACHMENT

SITE STATISTICS
LEGAL DESCRIPTION
PART OF LOTS 16-17, CONCESSION 7
GEOGRAPHIC TOWNSHIP OF WOLLASTON
PARTS 3, 4 AND 5, PLAN 21R-15271

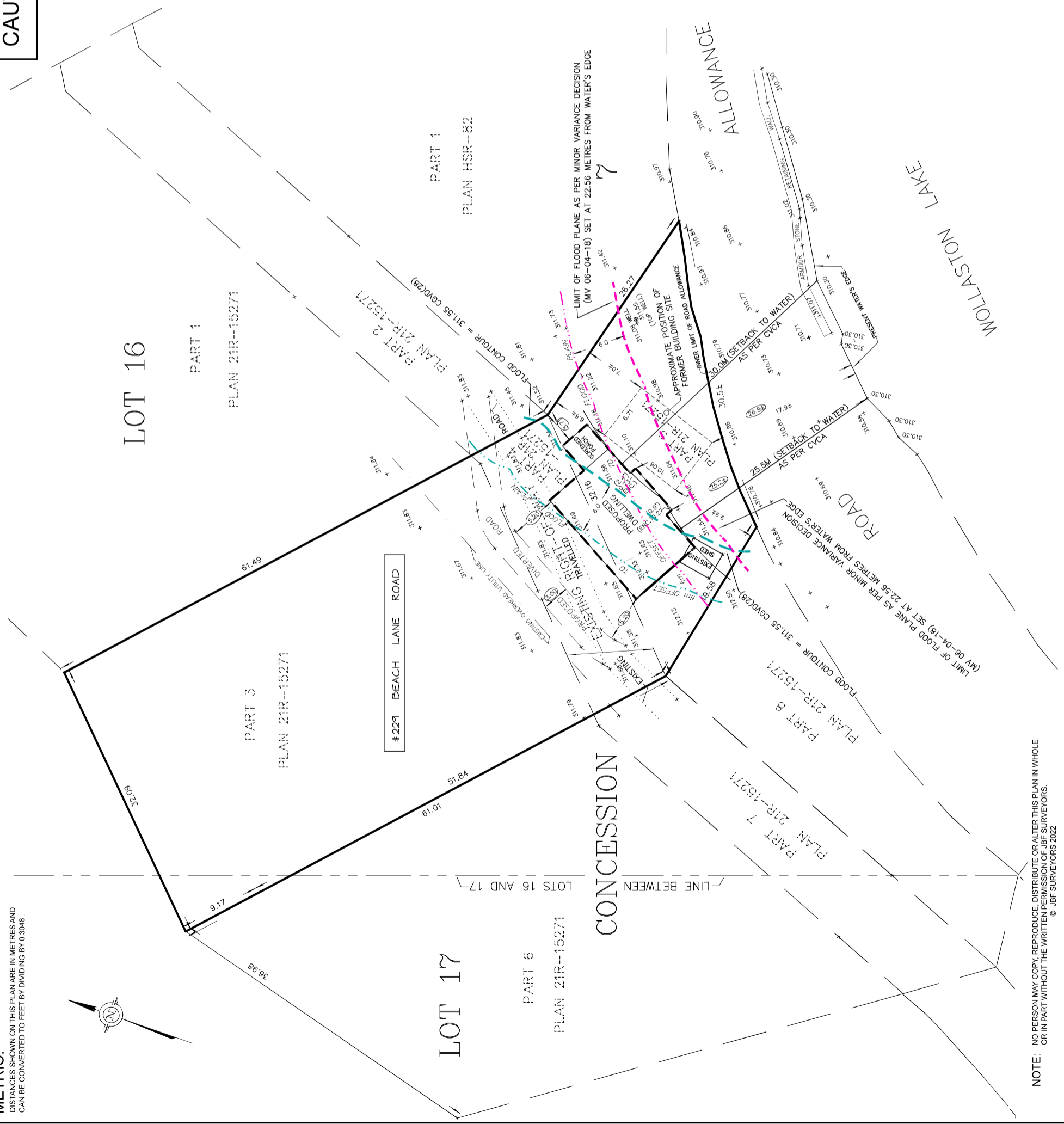
CAUTION: THIS IS NOT A PLAN OF SURVEY
BOUNDARY INFORMATION SHOWN ON THIS SITE PLAN HAS BEEN TAKEN FROM
PLAN 21R-15271 AND FIELD WORK COMPLETED ON 6 DECEMBER 2022

THIS SITE PLAN SHOULD NOT BE UTILIZED FOR ANY TRANSFER OF TITLE/
OWNERSHIP OR FINANCING ARRANGEMENTS.



JBF SURVEYORS
3177 LAKEFIELD ROAD, BOX 70
LAKEFIELD, ON, K0L2H0
PHONE: 705-652-6198
INFO@JBF SURVEYORS.COM
WWW.JBF SURVEYORS.COM

PROJ. # 8290 SITE PLAN



NOTE: NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE
OR IN PART WITHOUT THE WRITTEN PERMISSION OF JBF SURVEYORS.
© JBF SURVEYORS 2022



REPORT FOR: CROWE VALLEY CONSERVATION AUTHORITY WATERSHED ADVISORY BOARD

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**APPENDIX A
A5
Site Plan Memo (JBF Surveyors; 31 Mar. 2023)**





3177 LAKEFIELD ROAD, BOX 70,
LAKEFIELD, ONTARIO K0L 2H0
TEL. 705-652-6198
Email: info@jbfsurveyors.com
www.jbfsurveyors.com

31 March 2023

Chris Degeer
229 Beach Lane Road
PO Box 130
Coe Hill, ON
K0L 1P0

Re: Site Plan
Part of Lot 16 - 17, Concession 7
Geographic Township of Wollaston, County of Hastings
(Re: 229 Beach Lane Road – Wollaston Lake)

Our Project 8290

Dear Mr. Degeer:

We are pleased to report that we have now completed the Site Plan of your property showing the proposed dwelling.

You will recall that on 13 January 2022 a field crew attended the site to survey the boundaries – which would enable us to calculate the proposed building.

All of the property limits have been re-established on the ground and all of the corners are now marked by iron survey bars and red-painted wooden stakes.

Subsequent site visits were required at the request of the Crowe Valley Conservation Authority (CVCA) to measure topographic spot elevations (to calculate the flood contour) and locate the previous building site.

At this time, we have prepared a Site Plan showing the position of the dwelling – approved by your minor variance (MV-06-04-18) along with the flood plain requirements outlined in the same.

Additionally, we have illustrated the “current” flood plain (as requested by the CVCA) of 311.55 CGVD(28).

I believe this should be sufficient information for the Township and the CVCA to finally make a decision for your permit.

We trust you will find all in order, but if you should have any questions, please do not hesitate to call. Meanwhile, our statement of your account is also enclosed herewith.

Yours truly,

Christopher E. Musclow
Ontario Land Surveyor
Enc.



REPORT FOR: CROWE VALLEY CONSERVATION AUTHORITY WATERSHED ADVISORY BOARD

REGARDING: ONTARIO REGULATION 159/06, PERMIT APPLICATION NO. 000/23 BEING: A DWELLING AND SEPTIC SYSTEM LOCATED WITHIN THE WOLLASTON LAKE FLOOD HAZARD.

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APPENDIX B

File History	
B1.	CVCA Property Inquiry #034/18
B2.	Wollaston Township Committee of Adjustment Decision on Minor Variance 06-04-18
B3.	CVCA Permit Application #187/21
B4.	CVCA Approval of Application #187/21





REPORT FOR: CROWE VALLEY CONSERVATION AUTHORITY WATERSHED ADVISORY BOARD

**REGARDING: ONTARIO REGULATION 159/06, PERMIT APPLICATION NO. 000/23 BEING:
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**APPENDIX B
B1
CVCA Property Inquiry #034/18**





CVCA File #: PI - 034718

Date Received: March 16, 2018

P.O. Box 416, 70 Hughes Lane, Marmora, ON K0K 2M0

Tel: 613-472-3137 Fax: 613-472-5516 www.crovevalley.com

PROPERTY INQUIRY FORM

PLEASE ANTICIPATE A MINIMUM OF TWO WEEKS FOR A RESPONSE AND PLAN ACCORDINGLY.

Please note that all information must be completed on this form and be legible. Incomplete information may cause delays or an inaccurate response.

If this is a legal inquiry to fulfill a condition of a real estate purchase, please contact our office directly.

CONTACT INFORMATION						
First Name	CHRIS		Last Name	DEGEER		
Mailing Address (Street, P.O. Box)	100 EASTMAN CRES		City	NEWMARKET ON	Postal Code	L3Y5S2
Telephone: Home	905-953-9452	Work	905-787-4013	Mobile	416-524-9518	
Email	chris.degeer@fulton.com					

INQUIRY MADE BY:	
<input type="checkbox"/> Property Owner	<input type="checkbox"/> Real Estate Agent
<input checked="" type="checkbox"/> Potential Purchaser	<input type="checkbox"/> Agent for Property Owner
<input type="checkbox"/> Other	Please explain:

Is the Owner aware of this application?

 Yes No

If no, please explain: _____

PROPERTY LOCATION					
Lot	16	Concession	17	Municipality	WOLLASTON
Municipal Street Address (i.e.- 70 Hughes Lane)	229 BEACH LANE				
Assessment Roll Number (19 digit number found on your property assessment notice)					
Watercourse/Waterbody	WOLLASTON LAKE				

REASON FOR INQUIRY

- Potential Property Purchase
- General Property Inquiry (Am I within the regulated area?)
- Construction, reconstruction or placing a building/structure
- Placement or removal of fill, including septic installation or replacement
- Straightening, changing, diverting or interfering with a watercourse, shoreline or wetland

NATURAL FEATURES ON OR NEAR PROPERTY (PLEASE CHECK ALL THAT APPLY)

- | | |
|---|--|
| <input checked="" type="checkbox"/> Watercourse | <input checked="" type="checkbox"/> Shoreline |
| <input type="checkbox"/> Wetland | <input type="checkbox"/> Inland Pond |
| <input type="checkbox"/> Steep Slope | <input checked="" type="checkbox"/> Other: <i>FLOOD PLAN</i> |

PROVIDE A BRIEF DESCRIPTION OF THE PROPOSAL AND/OR ANY QUESTIONS AND CONCERNS

*CAN WE BUILD A 1200 sq. foot home
ON THIS ~~PAR~~ PROPERTY. approx.
1000.*

Information you provide on this form is collected by the Crowe Valley Conservation Authority (CVCA) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)* and will not be used for any purpose other than for responding to the specific property inquiries contained in this form. The information you receive from this request is for your convenience only.

This inquiry does **NOT** constitute an Application for a Permit under Section 28 of the *Conservation Authorities Act, R.S.O. 1990 Chapter C27*.

Date: May 14 2018

Please submit your completed form to info@crowevalley.com

Robert Cole

From: Robert Cole <robert.cole@crowevalley.com>
Sent: March-16-18 3:44 PM
To: 'chris.degeer@fulton.com'
Cc: info@crowevalley.com
Subject: PIF 034/18 - 229 Beach Lane
Attachments: Degeer PIF 034-18.jpg

Good day Chris,

Thank you for coming in today to discuss the property you are interested in purchasing. As per our conversation the subject property does fall within our regulated area and the engineered floodplain level does encroach onto the shoreline road allowance in front of the property. The property has a trailer that has been built in, through enclosing the sides and the installation of a septic system, so the CVCA would consider it a dwelling. The dwelling is outside of the floodplain but it is within the 6m setback of flood hazards. CVCA policy does allow for the replacement of existing dwellings within that setback, but we would encourage the placement of the new dwelling to be moved outside the 6m floodplain setback. Based on desktop review there is a building envelope on the property, subject the setbacks established by Wollaston Township By-laws.

The attached map shows the floodplain , marked with a red dashed line, and the existing dwelling is easily observed.

If you have any questions or concerns about this PIF, or any other CVCA inquiry, please feel free to contact us by email or telephone at 613-472-3137.

Yours in Conservation,

Robert Cole



Robert Cole - Regulations Officer
Crowe Valley Conservation

70 Hughes Lane P.O. Box 416 Marmora, ON K0K 2M0
Tel: 613-472-3137 Fax: 613-472-5516

Any maps/screen shots provided in emails are produced by Crowe Valley Conservation Authority with data supplied under licence by the Ontario Geospatial Data Exchange and local County data. These maps/screen shots have been created for demonstrative purposes only and are not to be used as an official source of data.





REPORT FOR: CROWE VALLEY CONSERVATION AUTHORITY WATERSHED ADVISORY BOARD

**REGARDING: ONTARIO REGULATION 159/06, PERMIT APPLICATION NO. 000/23 BEING:
A DWELLING AND SEPTIC SYSTEM LOCATED WITHIN THE WOLLASTON LAKE FLOOD HAZARD.**

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LOCATION	#229 Beach Lane (Wollaston Lake) Part Lots 16 and 17; Concession 7 Township of Wollaston ARN: 1254-000-015-34400

**APPENDIX B
B2**

Wollaston Township Committee of Adjustment Decision on Minor Variance 06-04-18





P.O. Box 99
Coe Hill, ON K0L 1P0
Tel: 613.337.5731
Fax: 613.337.5789
Email: wollaston@bellnet.ca

WOLLASTON TOWNSHIP

April 26, 2018

Re: DeGeer, Minor Variance MV 06-04-18
229 Beach Lane

The Committee of Adjustment met on April 26, 2018 and you will find their final decision enclosed.

If there is no appeal filed with the Ontario Municipal Board, then the decision will become final and binding on May 16, 2018.

If you have any questions or concerns please do not hesitate to contact the office.

Sincerely,

Jennifer Cohen
Clerk

NOTICE OF DECISION OF COMMITTEE OF ADJUSTMENT WITH REASONS RE APPLICATION FOR

File No. _____

Minor Variance - s. 45 (1) Permission - s. 45 (2)

Wollaston Committee of Adjustment

Name of committee

RE AN APPLICATION BY Robert DeGeer

Name of applicant

Address of applicant

LOCATION OF PROPERTY 229 Beach Lane

PURPOSE OF APPLICATION construction of building too close to front and rear yard setbacks than required.

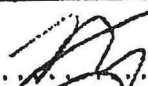
As set out in application

WE, the undersigned, in making the decision upon this application, have considered whether or not the variance requested was minor and desirable for the appropriate development or use of the land, building or structure, and that the general intent and purpose of the zoning by-law and the official plan will be maintained or, in the case of a change in a use of property which is lawfully non-conforming under the by-law, as to whether or not this application has met the requirements of subsection 45 (2) of the *Planning Act*, concur in the following decision and reasons for decision made on the 26th day of April 2018.

DECISION: To allow for a new single detached dwelling unit to be constructed with the following minimum setbacks:
* - 6 metres from the flood plain of Wollaston Lake (at the time of hearing being 74 feet from high water mark).
- 17 feet minimum setback from private road (Beach Lane).

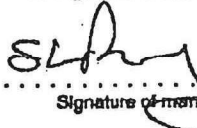
CONDITIONS:

REASONS FOR DECISION:


Signature of member

Wm. J. O'Brien
Signature of member

.....
Signature of member


Signature of member

Layne Moore
Signature of member

.....
Signature of member

NOTE: Continued on reverse.

Appeal - The last date for filing a notice of appeal of this decision is ... May 16 2018

Any such appeal must be filed with the secretary-treasurer of the committee and must set out the objection to the decision and the reasons in support of the objection and must be accompanied by the fee required by the Ontario Municipal Board.

Person - appeal limitation - Only individuals, corporations and public bodies may appeal decisions in respect of an application for a minor variance or permission to the Ontario Municipal Board. A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Other applications - If known, indicate if the subject land is the subject of an application under the Act for:

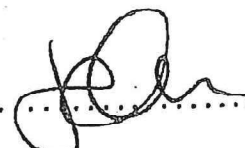
- Approval of a plan of subdivision (under section 51) File # Status
- Consent (under section 53) File # Status
- Previous application (under section 45) File # Status

CERTIFICATION

I, Jennifer Cohen

certify that the information included herein is a true copy of the decision of the committee with respect to the application recorded therein.

Dated this 26 day of April, 16 2018


Signature of Secretary-Treasurer



REPORT FOR: CROWE VALLEY CONSERVATION AUTHORITY WATERSHED ADVISORY BOARD

**REGARDING: ONTARIO REGULATION 159/06, PERMIT APPLICATION NO. 000/23 BEING:
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**APPENDIX B
B3
CVCA Permit Application #187/21**



187/21
July - 05/21



P. O. Box 416, 70 Hughes Lane
Marmora, Ontario
K0K 2M0

Phone: (613) 472-3137
Fax: (613) 472-5516
www.crowevalley.com

APPLICATION

FOR DEVELOPMENT, INTERFERENCE WITH WETLANDS AND ALTERATIONS TO SHORELINES AND WATERCOURSES PERMIT
(CONSERVATION AUTHORITIES ACT - ONTARIO REG. 159/06)

Contact Information

Owners Name: BEV DEGEER Applicants Name: _____
Mailing Address: 100 EASTMAN CRES. Mailing Address: _____
City, Province: NEWMARKET ON City, Province: _____
Postal Code: L3Y 5S2 Postal Code: _____
Home Phone: 289-221-3550 Home Phone: _____
Business Phone: _____ Business Phone: _____
E-Mail Address: bev.degeer@canadalife.com E-Mail Address: _____

Is the Owner aware of this application? Yes
 No : Please explain: _____

Location of Proposed Works

^{PART} Lot: 16 17 Concession: 7 Township: WOLLASTON Municipality: HASTINGS
Street Address/911 No: 20A BEACH LANE Waterbody: WOLLASTON LAKE
Assessment Roll No: 12-54-000-015-34400-0000
Map and Directions Attached: Yes No
Existing Land Use (vacant, residential, etc.): RESIDENTIAL
Current Zoning: _____

Application is hereby made to: (check all that apply)

Construct New Building Alter an Existing Watercourse
 Alter, Add to or Renovate a Building Construct Retaining Wall or Erosion Control
 Place or Remove Fill Material Construct a Pond or Reservoir
 Install Septic System Other _____

Type and Volume of Fill: Sand backfill
+ new septic

Description of Proposed Works: BUILD NEW HOME ON PROPERTY.

- 74' from shoreline

Start Date: JULY 2021 Completion Date: DEC 2021

This application must be accompanied by **TWO COPIES** of a detailed site plan and payment of a processing fee as determined by the Conservation Authority. The site plan **MUST** include the following information:

1. General location of property in relation to roads, etc. (So we can find the property)
2. Location and dimensions of all existing structures on property and a survey plan with lot dimensions
3. Location of any waterway, open water, wetland, steep slope on or near the property and any drainage features (ditches/culverts)
4. Intended location and dimensions of fill, construction, or waterway alteration proposed
5. Cross-section of proposal showing existing and final grade with elevations from the current water level of any nearby waterway, and elevations of the lowest structure opening if applicable



Crowe Valley
Conservation

P. O. Box 416, 70 Hughes Lane
Marmora, Ontario
K0K 2M0

Phone: (613) 472-3137
Fax: (613) 472-5516
www.crowevalley.com

NOTE: Further information and studies may be required by the Crowe Valley Conservation Authority (CVCA) in order to process this file, the cost of which will be borne by the applicant or their agent. This information may include details related to wetlands, floodplains, hydraulics, slope stability or stream systems. Once completed, all studies become the property of the CVCA and the information may be used by the CVCA, its member municipalities and partners. In order for members of the public to view any studies, plans and reports related to your permit, a formal request under the *Municipal Freedom of Information Protection and Privacy Act*, RSO 1990, c.M.56, is required. Access is subject to statutory exemptions. The same is true should you wish to access any studies, plans and reports pertaining to other's permits. Insufficient information may delay the processing of your application. This application does not relieve the applicant of the obligation to secure any other necessary approvals. Fees are subject to change without notice.

I, (please print name) BEV DEGEER declare that the above information is correct to the best of my knowledge and I agree to abide by Ontario Regulation 159/06.

Signature: *Bev Degeer* Date: June 30 2021
NOTE: Signature or Written Authorization of Landowner is Mandatory

I am the: Owner Agent Contractor Other: _____

The information on this form is being collected, and will be used, for the purposes of administering a Regulation made pursuant to Section 28 of the Conservation Authorities Act, R.S.O. 1990 C27.

Landowner Authorization

If this Application of Permit is to be submitted by a solicitor/ contractor/ agent on behalf of the owner(s), this Landowner Authorization must be completed and signed by the owner(s). If the owner is a corporation acting without agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

NOTE TO OWNER(S)

Please note that the Crowe Valley Conservation Authority staff reserve the right to discuss any or all aspects of the permitting process with the property owner.

If the Application of Permit is to be prepared by a solicitor/ contractor/ agent, authorization should not be given until the Application of Permit and its attachments have been examined and approved by you the owner(s).

I/ We _____
Print full name of owner

Hereby Authorize _____
Print full name of Solicitor/ Contractor/ Agent)

To submit the enclosed Application of Permit to the Crowe Valley Conservation Authority and to provide any further information or material required by Authority Staff relevant to the Application of Permit for the purpose of obtaining a Permit to fill, construct or alter a watercourse in accordance with the requirements of the Ontario Regulations.

Signature of Owner(s) _____ Date _____

Signature of Solicitor/ Contractor/ Agent _____ Date _____

FOR OFFICE USE ONLY	
Payment:	<input type="checkbox"/> Cash <input type="checkbox"/> Cheque <input type="checkbox"/> VISA
Credit Card No:	_____
PERMIT NO:	_____
IS THIS APPLICATION THE RESULT OF A VIOLATION? <input type="checkbox"/> No <input type="checkbox"/> Yes	



Crowe Valley
C o n s e r v a t i o n

P. O. Box 416, 70 Hughes Lane
Marmora, Ontario
K0K 2M0

Phone: (613) 472-3137
Fax: (613) 472-5516
www.crowevalley.com

GENERAL CONDITIONS

The Applicant, by acceptance and in consideration of the issuance of this Application of Permit, agrees to the following conditions:

1. Authorized representatives of the Crowe Valley Conservation Authority (CVCA) will be granted entry at any time into the subject lands and building of the Applicant, in order to make such surveys, examinations, investigations, inspections or other arrangements which such representatives deem necessary.
2. The Owner and Applicant agrees:
 - a. to indemnify and save harmless, the CVCA and its officers, employees, or agents, from and against all damage, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omissions of the Owner and Applicant or any of his/her agents, employees or contractors relating to any of the particulars, terms or conditions of this Application of Permit;
 - b. that this Application of Permit shall not release the Owner and Applicant from any legal liability or obligation and remains in force subject to all limitations, requirements and liabilities imposed by law;
 - c. that all complaints arising from the proposed works authorized under this Application of Permit shall be reported immediately by the Owner and Applicant to the CVCA. The Owner and Applicant shall indicate any action which has taken place or is planned to be take, with regard to each complaint.
3. This Application of Permit shall not be assigned or assumed by any subsequent purchaser, transferee, grantee without permission of the CVCA.
4. This Application of Permit does not absolve the Applicant of the responsibility of obtaining necessary permission from applicable federal, provincial or local agencies.
5. Should default be made by the Owner and Applicant in compliance with, or satisfaction of, the enumerated conditions and or submitted application, the CVCA may enter upon the property with respect to which conditional approval is granted and cause said conditions to be satisfied if necessary, the expense of which will be the sole responsibility of the Owner and Applicant.
6. The work shall be carried out as per the approved plans and specifications submitted in support of the application and as amended by the approval of this permit.
7. The Owner and Applicant agree to install and maintain all sediment controls as directed by Authority staff, until all disturbed areas have been stabilized.
8. Any areas that have been disturbed by any work done shall be seeded, sodded or stabilized by the Owner and Applicant in a manner acceptable to the Authority immediately upon completion of the work authorized by this permit and in any event prior to the expiry of the permit.
9. The Owner and Applicant agree to maintain all existing drainage patterns, and not to obstruct external drainage from other adjacent private or municipal lands.
10. The permit granted under this regulation is valid for TWO years from the date of issue and it is the responsibility of the Owner and Applicant to ensure that valid permit is in effect at the time of work occurring.
11. The Owner and Applicant may appeal any or all of the stated conditions of the permit to the Board of the Conservation Authority.

The information supplied by the Owner or Applicant in this Application to Permit form is being collected and will be used for the purposes of administering the Regulation enacted pursuant to Section 20 of the *Conservation Authorities Act*, R.S.O. 1990, c27. This Application to Permit together with any supporting documentation that may be received relating to this Application to Permit may be released in whole or in part to other persons in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O., 190, cM-56 as amended.

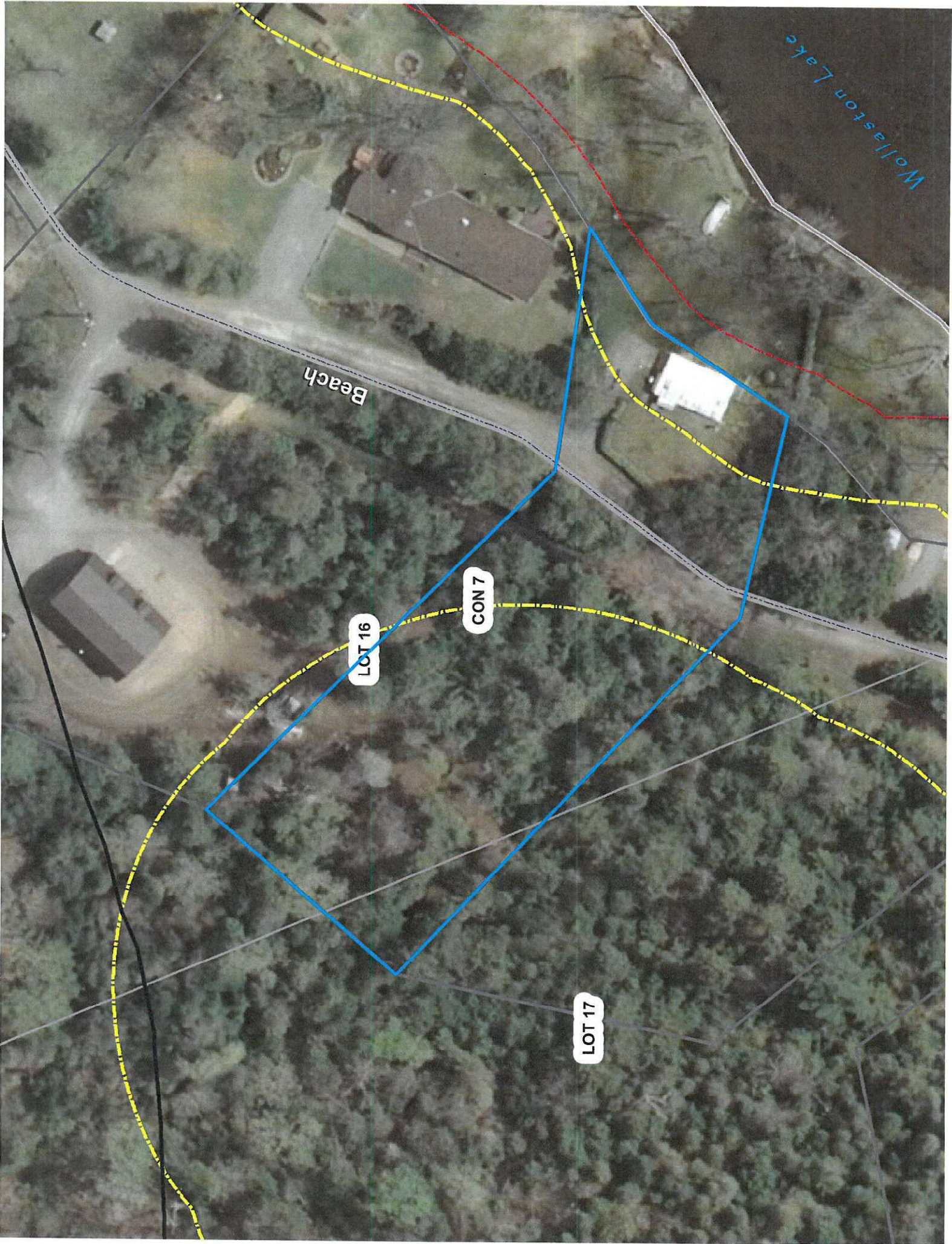
Under Section 28(12) of the Conservation Authorities Act R.S.O. 1990, Chapter C.27, as amended, an Applicant has the right to request a Hearing before the Executive Committee if the Applicant disputes one or more of the conditions imposed in this Permit.

I/we, hereby declare that I/we have read and understood the terms and conditions of this Application of Permit and the Permit issued pursuant to the Application, I/we hereby further declare that any information provided by myself or my agent is true and correct and I/we acknowledge that the CVCA relies on the information provided by myself and my agent in this Application of Permit and that the CVCA may revoke this Permit in the event that any information provided herein is incorrect or untrue.

Date:

Signature:

June 30 2021
M. Decker







REPORT FOR: CROWE VALLEY CONSERVATION AUTHORITY WATERSHED ADVISORY BOARD

**REGARDING: ONTARIO REGULATION 159/06, PERMIT APPLICATION NO. 000/23 BEING:
A DWELLING AND SEPTIC SYSTEM LOCATED WITHIN THE WOLLASTON LAKE FLOOD HAZARD.**

DATE: NOVEMBER 9, 2023

HEARING DATE	November 16, 2023
DATE APPLICATION RECEIVED	November 1, 2023
DATE HEARING REQUESTED	November 1, 2023
APPLICANT	Christopher Degeer and Beverley Degeer
LOCATION	#229 Beach Lane (Wollaston Lake) Part Lots 16 and 17; Concession 7 Township of Wollaston ARN: 1254-000-015-34400

**APPENDIX B
B4
CVCA Approval of Application #187/21**



08 September 2021

Bev and Chris Degeer
100 Eastman Cres.
Newmarket, ON
L3Y 5S2



Crowe Valley
C o n s e r v a t i o n

P.O Box 416, 70 Hughes Lane Phone: 613-472-3137
Marmora, ON Fax: 613-472-5516
K0K 2M0 www.crowevalley.com

RE: APPROVED PERMIT APPLICATION NO. 187/21

For the proposed teardown and rebuild of a dwelling, relocation of a private road, and install of a new septic system adjacent to Wollaston Lake.

Located at 229 Beach Lane; Part Lots 16-17, Concession 7; Township of Wollaston.

ARN: 1254 000 015 34400

ATTENTION:

IT IS IMPORTANT THAT YOU READ AND UNDERSTAND THE CONTENTS OF THIS LETTER. YOU AND YOUR CONTRACTOR MUST BE AWARE OF ANY SPECIFIED MITIGATION REQUIREMENTS. THIS PERMIT IS VALID FOR TWO YEARS FROM THE DATE ISSUED. SHOULD YOU HAVE ANY QUESTIONS, PLEASE CONTACT ROBERT COLE, CVCA REGULATIONS OFFICER.

The above reference property has been reviewed with regard to Ontario Regulation 159/06, Crowe Valley Conservation Authority: Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses, pursuant to the **Conservation Authorities Act**, R.S.O. 1990.

A review of the application and information provided indicated that the subject property is within the CVCA's regulated area due to the apparent valley of Wollaston Lake and its associated hazards. Every application is assessed on a site-specific basis on its own merits, while accounting for cumulative impacts on the Crowe Valley watershed.

As per the application information provided (received 05 July 2021), site visits, and additional correspondence, the proposal is to tear down (completed already) and rebuild a new dwelling and install a new septic system.

DOCUMENTS SUBMITTED AND REVIEWED WITH THE APPLICATION

- Site plan
- Dwelling drawings

PROPOSAL DETAILS

- The proposed dwelling shall be:
 - 60'1-1/2" by 31'3-1/2";
 - 1423 sq. ft. of habitable space;
 - Poured frost foundation with crawl space;
 - The closest points shall be:
 - 25.5m (83.6') from the dwelling to lake on the west side;
 - 30m (98.4') from the lake on the east side;
 - 6m (20') from the floodplain of Wollaston Lake (determined by CVCA Staff site visit).
 - Install a new septic system being:
 - A new tank being ~2m (6') off the west side of the dwelling in line with the north face of the dwelling ~33.5m (110') from Wollaston Lake and 15m (~50') from the flood hazard; and,
 - A septic bed to be ~5.2m (17') to the west of the dwelling and 30.5m (100') from the shore of Wollaston Lake and ~12m (~39.4') from the flood hazard.
 - The private road, Beach Lane, will be relocated to the north ~6m (20') to the north to allow the setback of 17' between the dwelling and road.
-

BASIS FOR CVCA APPROVAL

- The proposed development will not impact or be susceptible to known natural hazards.
 - The proposed development is above the 1:100 flood elevation of Wollaston Lake;
 - All entrances to the dwelling will be 0.3m above the flood elevation;
 - The proposed development is not susceptible to an erosion hazard;
 - The natural toe of the shore was dominated by sand and erosion protection had been installed, but even without the protection works the proposed dwelling is beyond the maximum toe erosion allowance.
 - The proposed development is on a slope gentler than 3H:1V.
- The proposed development will not have a negative impact on the hydrological or ecological functions of wetlands as the proposed development is greater than 30meters (~100feet) from any wetland boundary.
- The proposed development will not have a negative impact on pollution or the conservation of land.
 - The septic will maintain a 30m vegetated setback between it and the lake and is outside of the setback of a wetland to the northwest.

CONDITIONS OF PERMISSION

Based on the information submitted, the application has been approved in principle provided the following conditions are met. The proponent must:

1. Meet all required Municipal requirements and setbacks as well as have any necessary approval, if required, from the Chief Building Inspector before any work can be done and establish with the Municipality as to the rights of the shoreline allowance.
 2. Ensure all works are constructed as per submitted documentation and any subsequent information provided.
 3. Ensure this permit is posted on the property during construction.
 4. Notify the Authority at the start and completion of the project in order for staff to perform inspection as necessary.
 5. Make all contractors involved in any activities related to the proposed works aware of these conditions.
 6. To prevent pollution, mitigate potential damaging erosion, and the loss of sediment into lakes, wetlands, or floodplains adhere to the following Sediment and Erosion Control Requirements as applicable:
 - a. Sediment and erosion control measures shall be implemented, before and during the work phase to prevent entry of sediment into the water.
 - b. For works above the shoreline install silt fencing in accordance to OPSD 219.110;
 - c. For shallow water conditions 0.2m (8" or less), regular silt fencing in conjunction with a temporary dam is sufficient in accordance to OPSD 219.110.
 - d. If the depth of the water exceeds 0.2m (8"), a turbidity curtain must be used in accordance to OPSD 219.260.
 - i. A turbidity curtain is continuous geotextile fabric suspended from a floatation device on the water surface, held in vertical position by a ballast and weight at the bottom.
 - e. The applicant shall be responsible to monitor sediment and erosion controls daily and upgrade if necessary, to ensure they remain effective during all types of flow and storm events.
 - f. Sediment and erosion control measures should remain in place until the site has stabilized.
 7. Construction materials must be adequately contained to prevent contamination of the nearby waterbody/wetland. Any disturbed areas must be reseeded and left to vegetate naturally.
 8. Ensure areas cleared of vegetation are stabilized and allowed to naturally revegetate. The Authority may inspect the conditions before finalizing construction.
-

9. Ensure that construction will not be undertaken during periods of high flow or flooding, or during the spring runoff. This will minimize erosion and simplify construction.
10. Ensure that drainage will not have a negative impact on neighbouring properties. Ensure that drainage is not concentrated and is not directed to an area prone to erosion. Drainage should be directed to gradually sloped, well-vegetated areas.
11. Ensure that all activities, including maintenance, are performed in a designated controlled area to prevent the entry of petroleum products, debris, rubble, concrete or other deleterious substance into the water.
 - a. Vehicular refueling and maintenance must be conducted away from the water.
 - b. Ensure that absorbent materials are on hand to mitigate the effects of any petroleum-based spills.
12. Ensure only clean fill be used.
13. Ensure that all fill stored on site at any phase of construction is isolated by appropriate sediment and erosion controls and wildlife exclusion barriers (especially sand or dirt piles that would encourage turtle nesting during late May to early July).
14. Ensure all excavated material is removed from the CVCA regulated area.
15. Ensure that all debris including large pieces of wood, garbage, stumps, excess fill, etc., resulting from the construction, is removed from the CVCA regulated area.

You are reminded that the granting of this permit does not remove your responsibility to obtain any necessary additional permits from other agencies or government bodies. It is also important to note that this permit does not override any other permit or setback requirements from other agencies. In the case of a conflict between setback requirements the most restrictive will apply.

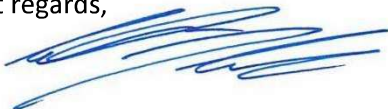
Please be advised that any departure from these conditions and the submitted documentation without prior written approval from the CVCA will constitute a violation of this permit and may result in legal action in accordance with Section 28 of the Conservation Authorities Act. Should your plans change regarding the specifications and location of the projects described please contact this office for an amendment to be issued accordingly.

If you object to any conditions of this permit letter you may request a hearing in front of the Crowe Valley Conservation Authority Board of Directors. The hearing will be at a Board meeting after your request for a hearing has been submitted. After the hearing, written reasons for the decision will be provided. Any person who has been refused permission or who further objects to conditions imposed on the permission may, within 30 days of receiving the reasons, appeal to the Minister.

Please be advised that the following statements are based on the best available information, including: GIS data and aerial imagery. A site visit has not been conducted to ground verify or refute this information.

Should you require any further assistance, please do not hesitate to contact this office.

Best regards,



Robert Cole
Regulations Officer
613-472-3137

CC: Chris Mather – Chief Building Official, Township of Wollaston (email)



REPORT FOR: CROWE VALLEY CONSERVATION AUTHORITY WATERSHED ADVISORY BOARD

**REGARDING: ONTARIO REGULATION 159/06, PERMIT APPLICATION NO. 000/23 BEING:
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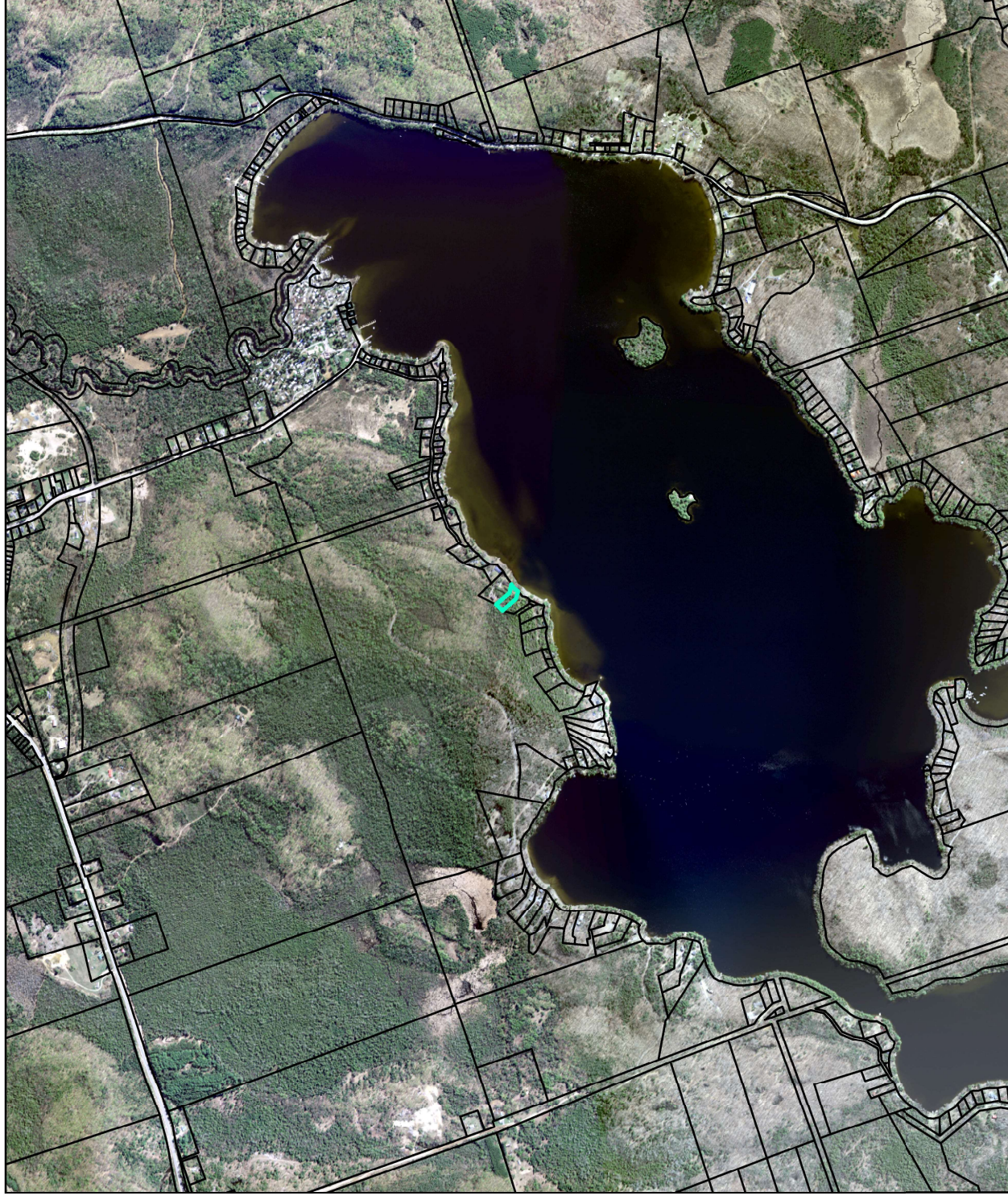
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**APPENDIX C
C1
Small Scale Map**











DEGEER, Robert and Beverley
229 Beach Lane, Wollaston (Wollaston Lake)
Part Lots 16 & 17, Concession 7
ARN: 1254-000-015-34400

CROWE VALLEY CONSERVATION AUTHORITY
Permit #232/23 (Hearing)
Proposed dwelling and septic system



LEGEND

-  Watercourses
-  CVCA Wetlands
-  MNRF Unevaluated Wetland
-  Provincially Significant Wetland
-  Lakes
-  CVCA Regulated Area
-  Parcel Fabric
-  Subject Property



9 November 2023

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REPORT FOR: CROWE VALLEY CONSERVATION AUTHORITY WATERSHED ADVISORY BOARD

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**APPENDIX C
C2
Large Scale Map**











DEGEER, Robert and Beverley
229 Beach Lane, Wollaston (Wollaston Lake)
Part Lots 16 & 17, Concession 7
ARN: 1254-000-015-34400

CROWE VALLEY CONSERVATION AUTHORITY
Permit #232/23 (Hearing)
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